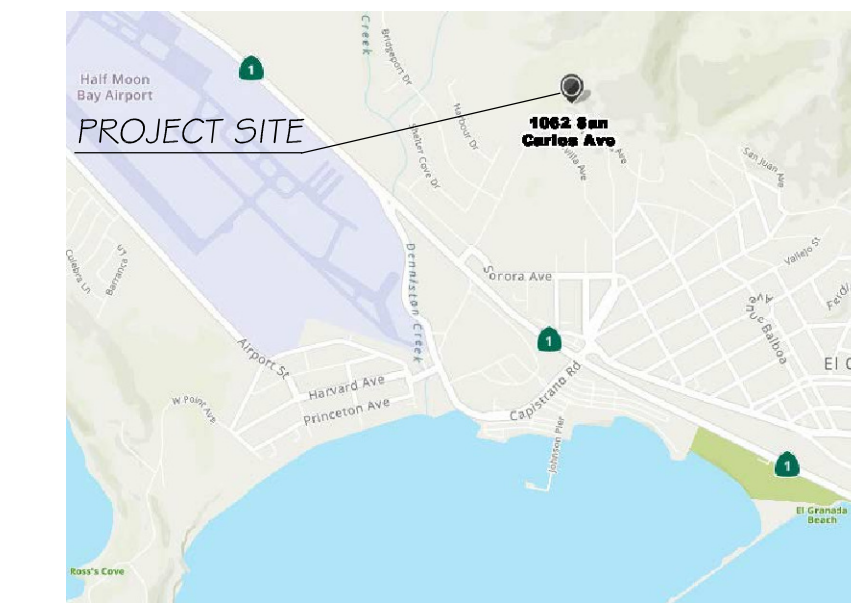


JENSEN RESIDENCE

SAN CARLOS AVE. EL GRANADA, CA 94019



VICINITY MAP

10



STREET PERSPECTIVE
NOT TO SCALE

22

NEW SINGLE FAMILY RESIDENCE. PROPOSED RESIDENCE TO CONSIST OF (3) BEDROOMS AND (2) BATHROOMS AND (2) CAR GARAGE. THE RESIDENCE WILL ALSO CONTAIN A (1) BEDROOM (1) BATHROOM ATTACHED ADU.

PROJECT DESCRIPTION

11

PROPERTY OWNER: WENDY AND ADAM JENSEN
121 BRIDGEPORT DR.
HALF MOON BAY, CA 94019

DESIGNER: PLAN A DESIGN GROUP LLC
LISA WELLMAN
1045 ALAMEDA DE LAS PULGAS
SUITE C
BELMONT, CA 94019
(650) 207-1566

CIVIL ENGINEER: SIGMA PRIME GEOSCIENCES INC.
332 PRINCETON AVE.
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

PROJECT DIRECTORY

12

LAND USE DATA

PLANNING DEPT. INFO: SAN MATEO COUNTY
ZONING: R-1 / S-17 / DR / CD
A.P.N.: 047-056-020

BUILDING DATA

CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R-3U
NUMBER OF STORIES: 3
FIRE SPRINKLERS: YES

SITE DATA

TOTAL LOT AREA: 4696.0 SF
AVERAGE LOT SLOPE: ± 21.0 %

PROPOSED LOT COVERAGE

MAIN RESIDENCE / ADU FOOTPRINT AREA: 1500.0 SF
COVERED ENTRY PORCH: 42.0 SF
EXTERIOR STAIRS TO ADU: 55.0 SF
EXTERIOR CONCRETE STAIRS AND WALKWAYS (OVER 1'0" ABOVE EXISTING GRADE): 45.0 SF

TOTAL LOT COVERAGE: 1642.0 SF
35.0 %

PROPOSED LANDSCAPED AREA: ± 840.0 SF

PROPOSED AREAS

GARAGE AREA: 435.0 SF
MAIN LEVEL LIVING AREA: 1137.0 SF
UPPER LEVEL LIVING AREA: 537.0 SF
UPPER LEVEL ADU AREA: 470.0 SF
COVERED ENTRY PORCH: 48.0 SF
TOTAL LIVING AREA: 2144.0 SF
TOTAL ENCLOSED FLOOR AREA: 2579.0 SF
TOTAL FLOOR AREA (PER SAN MATEO COUNTY F.A.R. LIMIT): 2157.0 SF

MAXIMUM FLOOR AREA CALCULATION

MAXIMUM ALLOWABLE FLOOR AREA
4696 SF (48) = 2254 SF
TOTAL PROPOSED FLOOR AREA = 2157.0 SF

PROPOSED FLOOR AREA RATIO

TOTAL FLOOR AREA = 2157.0 SF
FLOOR AREA TO LOT RATIO = .46

MAX. HEIGHT ABOVE NATURAL GRADE

26'-0" ABOVE NATURAL GRADE

PARKING CALCULATION

TWO-CAR GARAGE

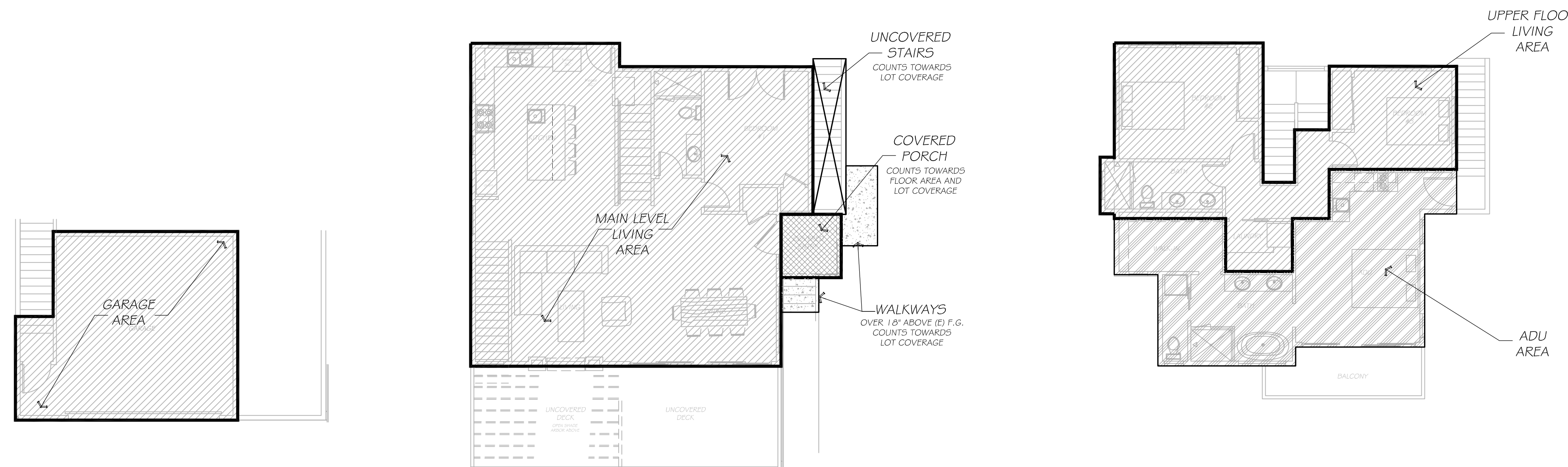
PROJECT DATA

13

- A1.0 COVER SHEET / PROJECT DATA
- A1.1 SITE PLAN
- I / I TOPOGRAPHIC SURVEY
- C-1 GRADING AND DRAINAGE PLAN
- C-2 EROSION CONTROL PLAN
- A1.2 GARAGE LEVEL FLOOR PLAN
- A1.3 MAIN LEVEL FLOOR PLAN
- A1.4 UPPER LEVEL FLOOR PLAN
- A1.5 ROOF PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A3.0 SECTIONS
- A4.0 ARCH. DETAILS
- LI.0 CONCEPTUAL LANDSCAPE PLAN

SHEET INDEX

14



AREA DIAGRAMS

1/8" = 1'-0"

24

OWNER:
WENDY AND ADAM JENSEN
121 BRIDGEPORT DR.
HALF MOON BAY, CA
94019

PROJECT:
JENSEN RESIDENCE
047-056-020
SAN CARLOS AVENUE
EL GRANADACA
94019

REVISIONS:
1. DRAINAGE / WATER DISTRICT COMMENTS 10-26-22
2. PLANNING DEPT. COMMENTS 12-21-22

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: DECEMBER 21, 2022

SHEET TITLE:

COVER SHEET / PROJECT DATA

SHEET NUMBER:

A1.0

**Jensen Residence
El Granada, CA 94019**

Roof: Certaineed Landmark TL Solaris Moire Black

Exterior Finish: Smooth stucco Benjamin Moore color Light Pewter. Stained V-groove western red cedar siding

Windows & Doors: Marvin Black Windows

Garage Door: Sectional Garage Door with Translucent Glazing or similar



Metal porch- Kendall Charcoal
House- Stormy Monday and
Pale oak



Western red cedar v-groove
Lap siding

Certaineed roof
Color Moire Black



OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADACA
 94019

REVISIONS:
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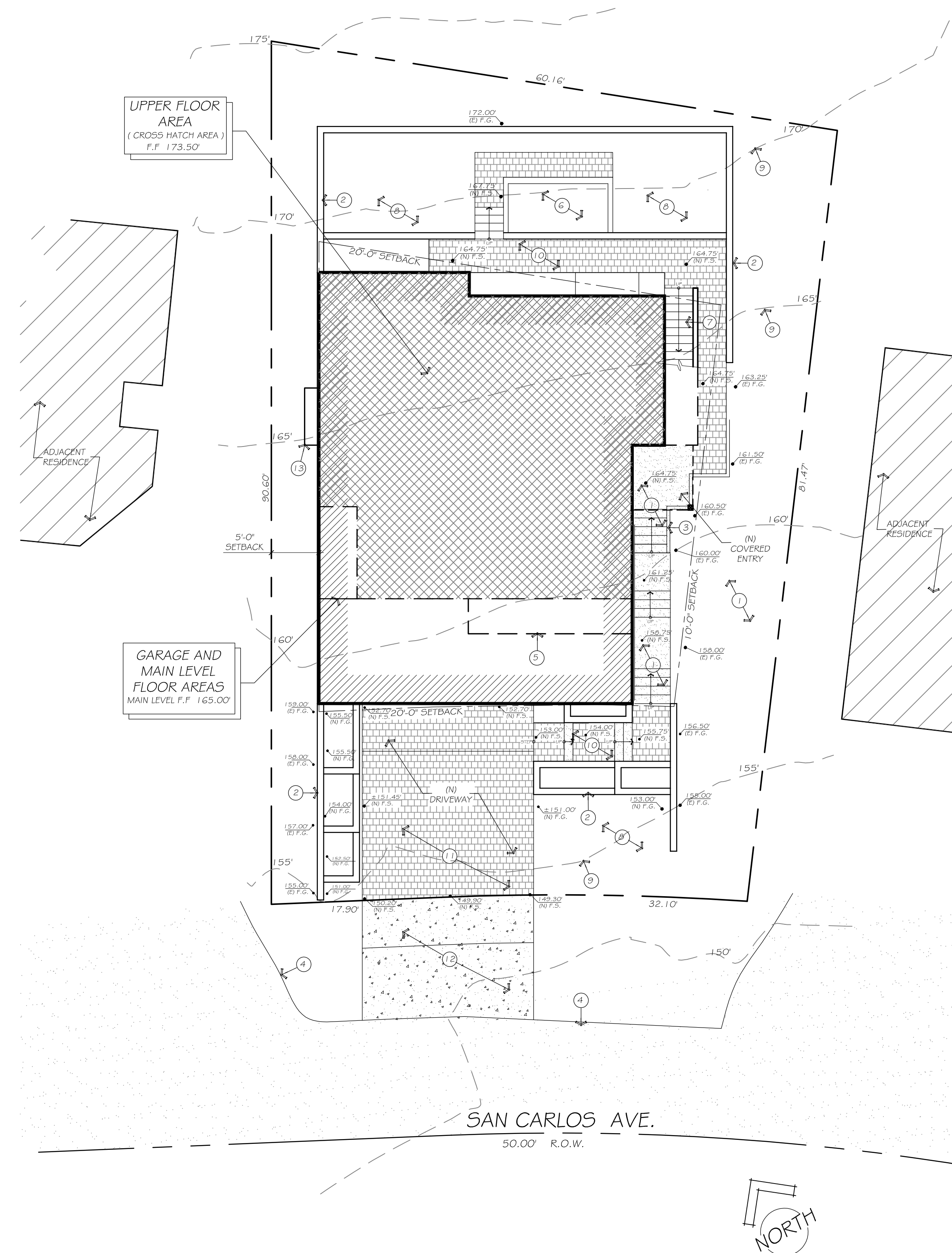
DATE: DECEMBER 21, 2022

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A1.1



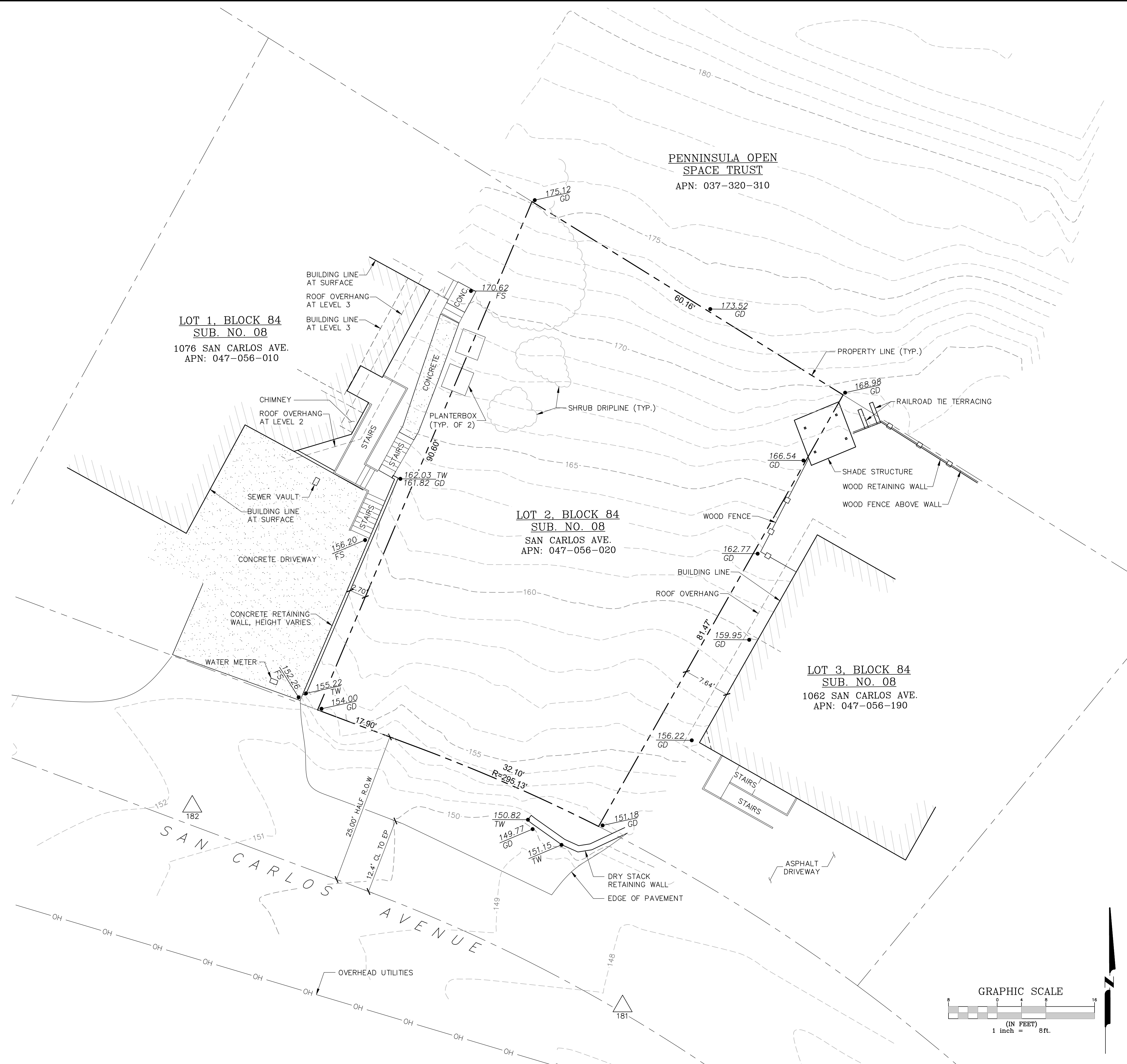
- 1 NEW CONCRETE LANDINGS AND STAIRS
- 2 NEW CONCRETE RETAINING WALLS WITH STONE VENEER FINISH / MAX. HEIGHT 4'-0" IN FRONT YARD SETBACK AREA
- 3 METAL STAIR GUARDRAIL / 34-38" ABOVE STAIR NOSING
- 4 EXISTING EDGE OF STREET PAVING
- 5 LINE OF BALCONY OVERHANG ABOVE
- 6 NEW SWIM SPA POOL
- 7 NEW UNCOVERED EXTERIOR STAIRS TO ADU AT UPPER FLOOR
- 8 NEW LANDSCAPED AREA
- 9 EXISTING GRADE CONTOUR LINES AT 5' INTERVALS
- 10 NEW PERMEABLE PAVERS PER CIVIL SHEETS
- 11 NEW IMPERVIOUS PAVEMENT DRIVEWAY PER CIVIL SHEETS
- 12 NEW A / C PAVING IN RIGHT OF WAY PER CIVIL SHEETS
- 13 LINE OF BATHROOM POPOUT ABOVE

REFERENCE NOTES

SITE PLAN
 SCALE: 1/8" = 1'-0"

44

24



LEGEND:

| | |
|-----|------------------|
| FS | FINISHED SURFACE |
| TYP | TYPICAL |
| OH | OVERHEAD |
| GD | GROUND |
| TW | TOP OF WALL |
| SS | SANITARY SEWER |
| △ | CONTROL POINT |

NOTES:

1. THIS MAP REPRESENTS THE SITE CONDITIONS ON THE DATE OF FIELD SURVEY, MARCH 22, 2021.
2. BEARINGS AND DISTANCES ARE REFERENCED TO THE CALIFORNIA COORDINATE SYSTEM, ZONE 3, NAD83, AS CALCULATED BY THE CSRC ON THE DATE OF FIELD SURVEY. DISTANCES AND COORDINATES ARE IN U.S. SURVEY FEET. ALL DISTANCES ARE GRID.
3. ELEVATIONS HAVE BEEN DETERMINED USING GEOID MODELING. ELEVATIONS ARE EXPRESSED IN U.S. SURVEY FEET AND ARE REFERENCED TO NAVD88, AS CALCULATED BY CSRC ON THE DATE OF FIELD SURVEY.
4. THE PROPERTY LINES SHOWN ON THIS MAP ARE BASED ON RECORD INFORMATION ON FILE WITH THE COUNTY OF SAN MATEO. THIS IS NOT A BOUNDARY SURVEY. NO MONUMENTS HAVE BEEN OR WILL BE SET.
5. EASEMENTS OF RECORD OR NOT OF RECORD MAY EXIST FOR THIS PROPERTY BUT IT WAS NOT WITHIN THE SCOPE OF THIS SURVEY TO LOCATE EASEMENTS.
6. ONLY VISIBLE UTILITIES WERE LOCATED. NO UNDERGROUND UTILITIES WERE LOCATED.

CONTROL POINT LIST:

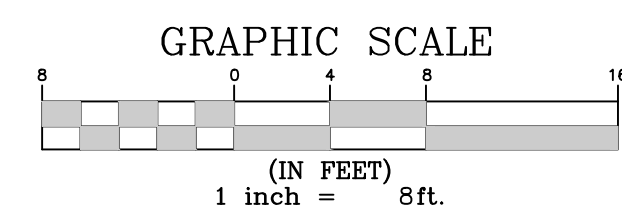
HORIZONTAL: CCS83, ZONE 3, NAD83 (NSRS2007) EPOCH 2011.00, U.S. SURVEY FEET
VERTICAL: NAVD88, U.S. SURVEY FEET

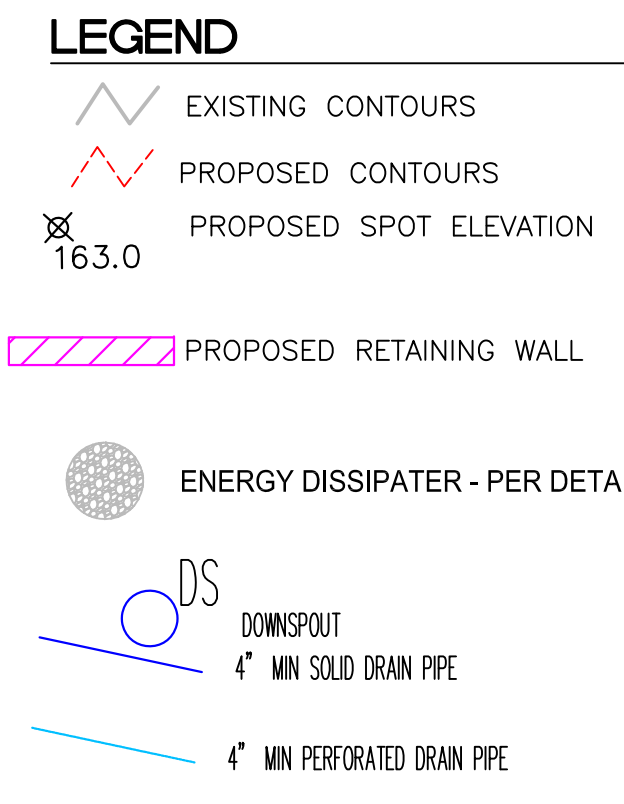
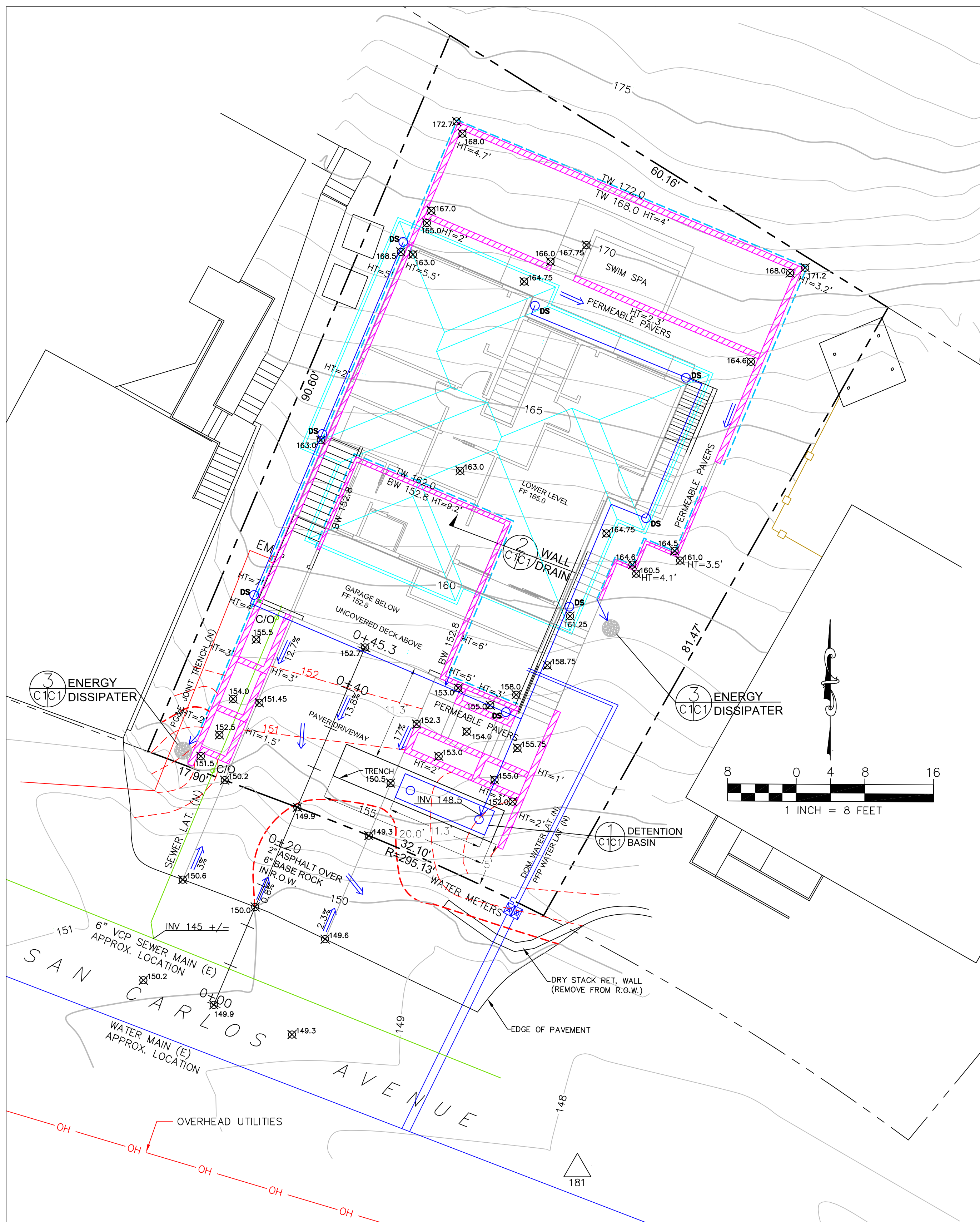
| POINT | NORTHING | EASTING | ELEVATION | DESCRIPTION |
|-------|------------|------------|-----------|------------------------|
| 181 | 2015088.80 | 5987002.36 | 147.84 | SET MAG NAIL IN STREET |
| 182 | 2015121.59 | 5986931.66 | 151.78 | SET MAG NAIL IN STREET |

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYOR'S ACT AT THE REQUEST OF ADAM JENSEN IN MARCH 2021.

STEVEN C. HANNIG, PLS 9452





GENERAL NOTES

- PLANS PREPARED AT THE REQUEST OF: WENDY JENSEN, OWNER
- TOPOGRAPHY BY OTHERS.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: JENSEN PROPERTY, 1062 SAN CARLOS AVENUE, EL GRANADA, CALIFORNIA.** DATE: 5-31-22, BY SIGMA PRIME INC., PROJECT NO. 20-123 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTRACT NUMBER (650)-728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.
- ALL WORK IN COUNTY RIGHT OF WAY MUST HAVE ENCROACHMENT PERMITS PRIOR TO START OF WORK.

DRAINAGE NOTES

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

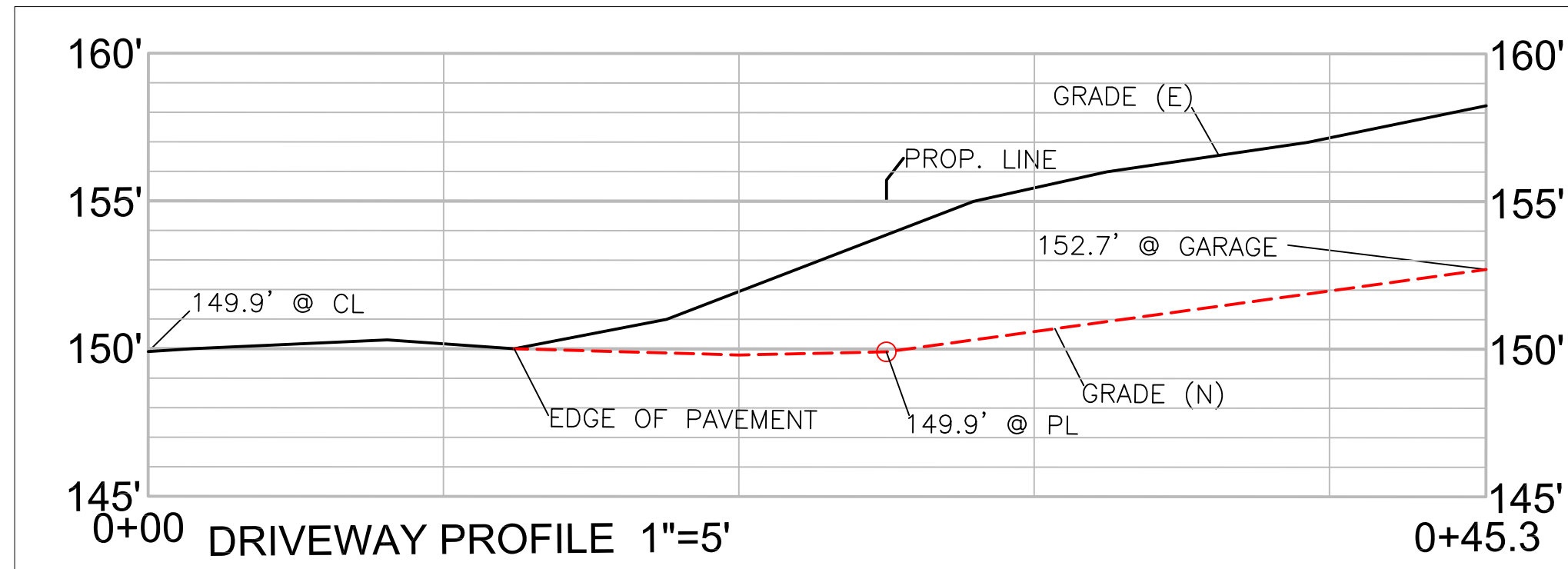
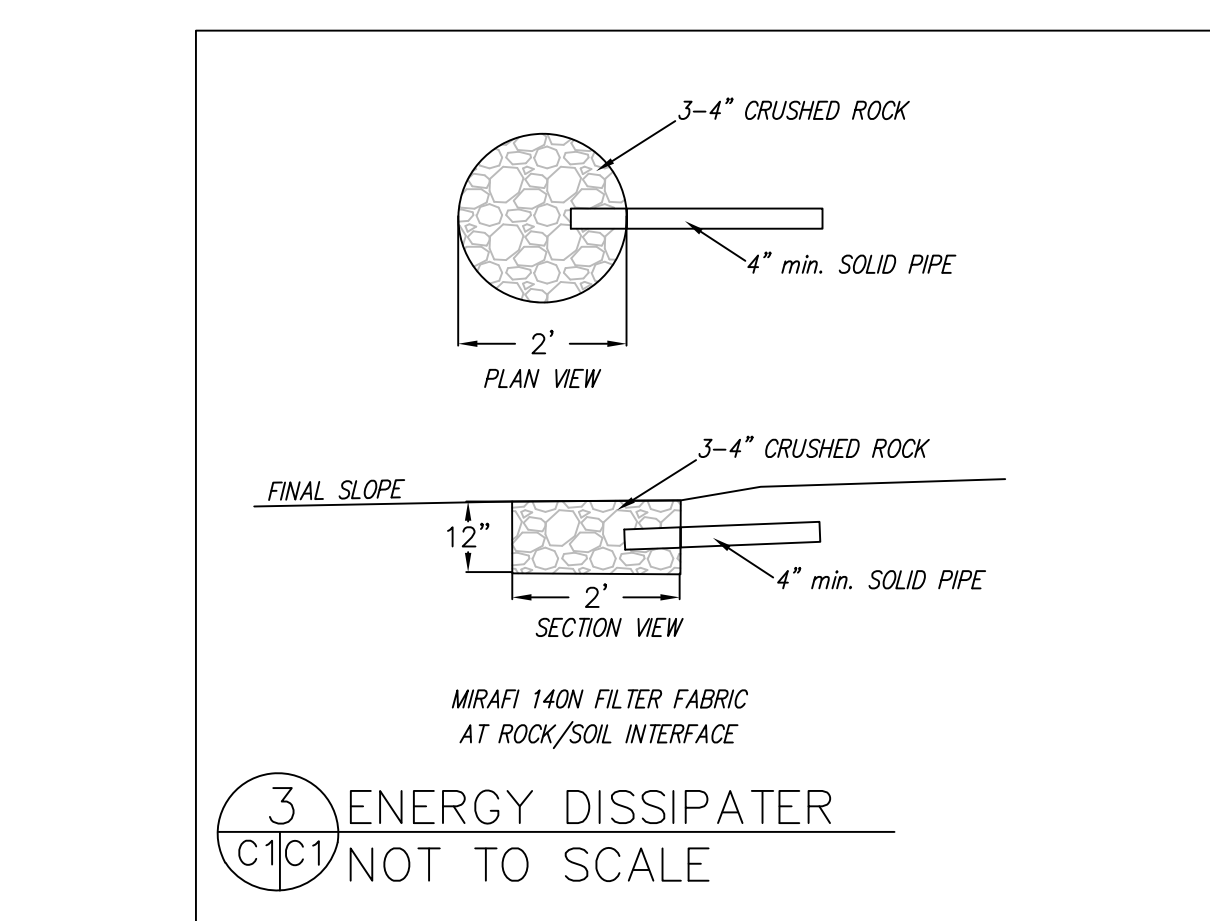
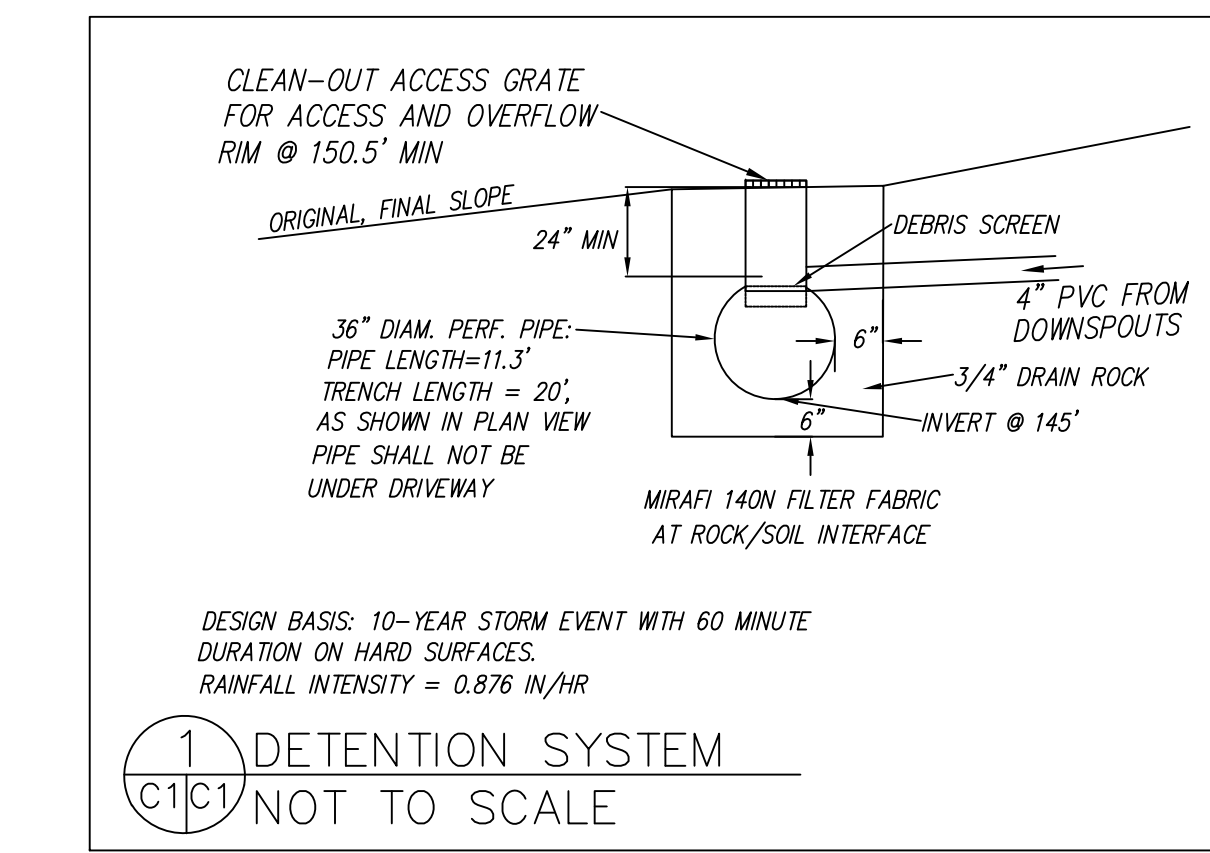
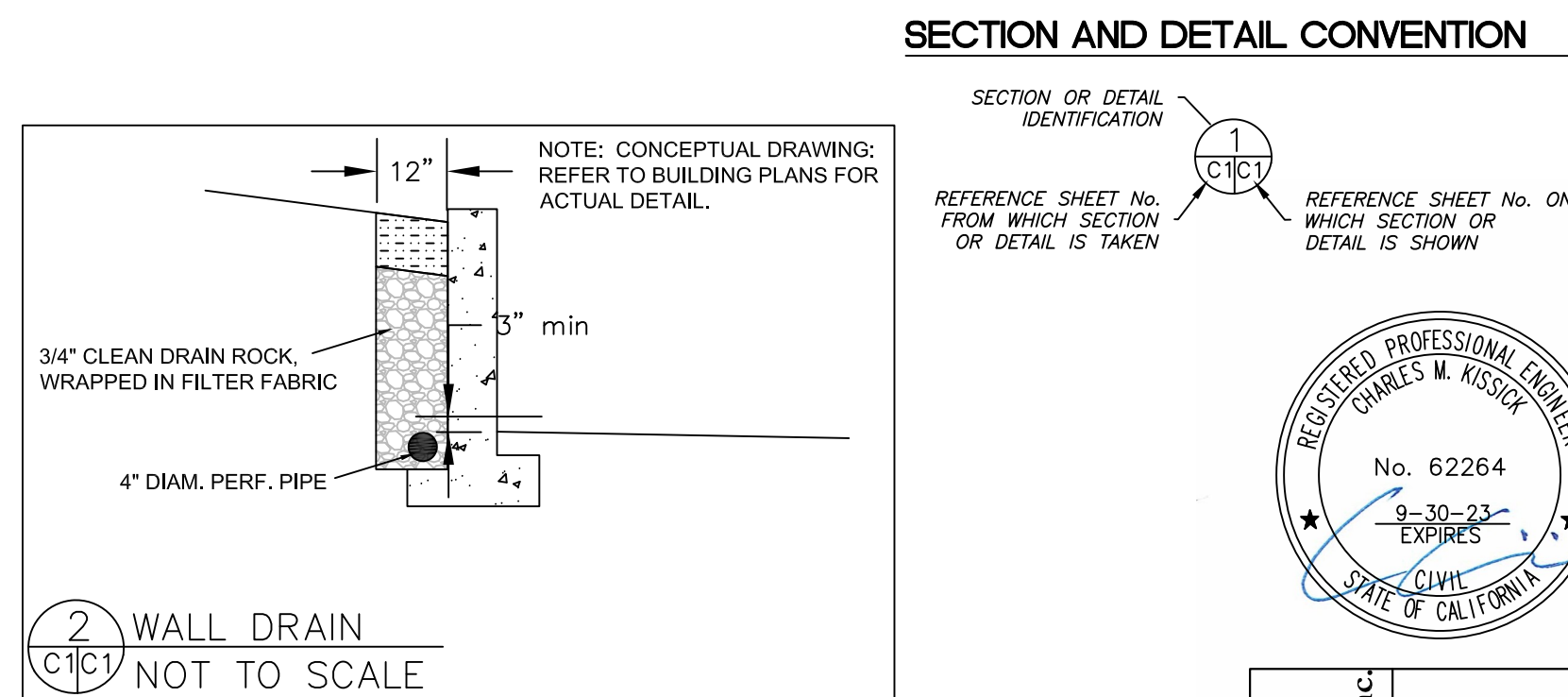
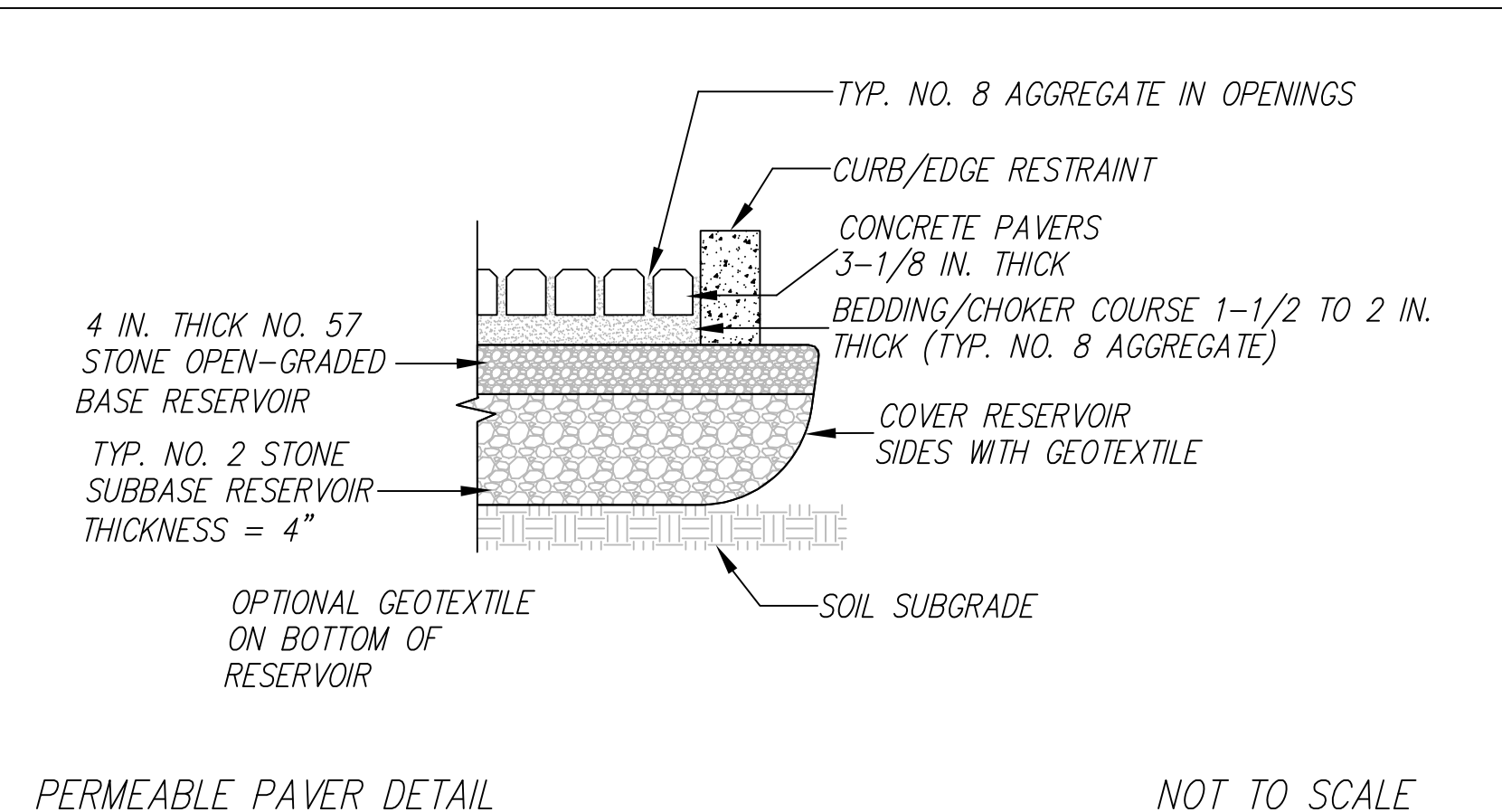
CUT VOLUME: 515 CY (FOR FOUNDATION)
FILL VOLUME: 20 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



| | | | | | | |
|---------------------------|---|---------------|-----------------|---------------------|------------|------------|
| GRADING AND DRAINAGE PLAN | DATE: 5-11-22 | DRAWN BY: CMK | CHECKED BY: AZG | REV. DATE: 10-25-22 | REV. DATE: | REV. DATE: |
| | Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE EL GRANADA, CA 94019 (650) 728-3590 FAX: 728-3590 | | | | | |
| SHEET | JENSEN PROPERTY 1062 SAN CARLOS AVENUE EL GRANADA APN 047-056-120 | | | | | |
| C-1 | | | | | | |

GENERAL EROSION AND SEDIMENT CONTROL NOTES

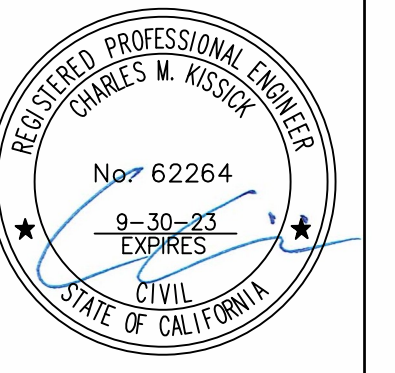
FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: WENDY JENSEN
TITLE/QUALIFICATION: OWNER
PHONE: 801-623-9260
PHONE:
E-MAIL: WENDYLJENSEN@GMAIL.COM



Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

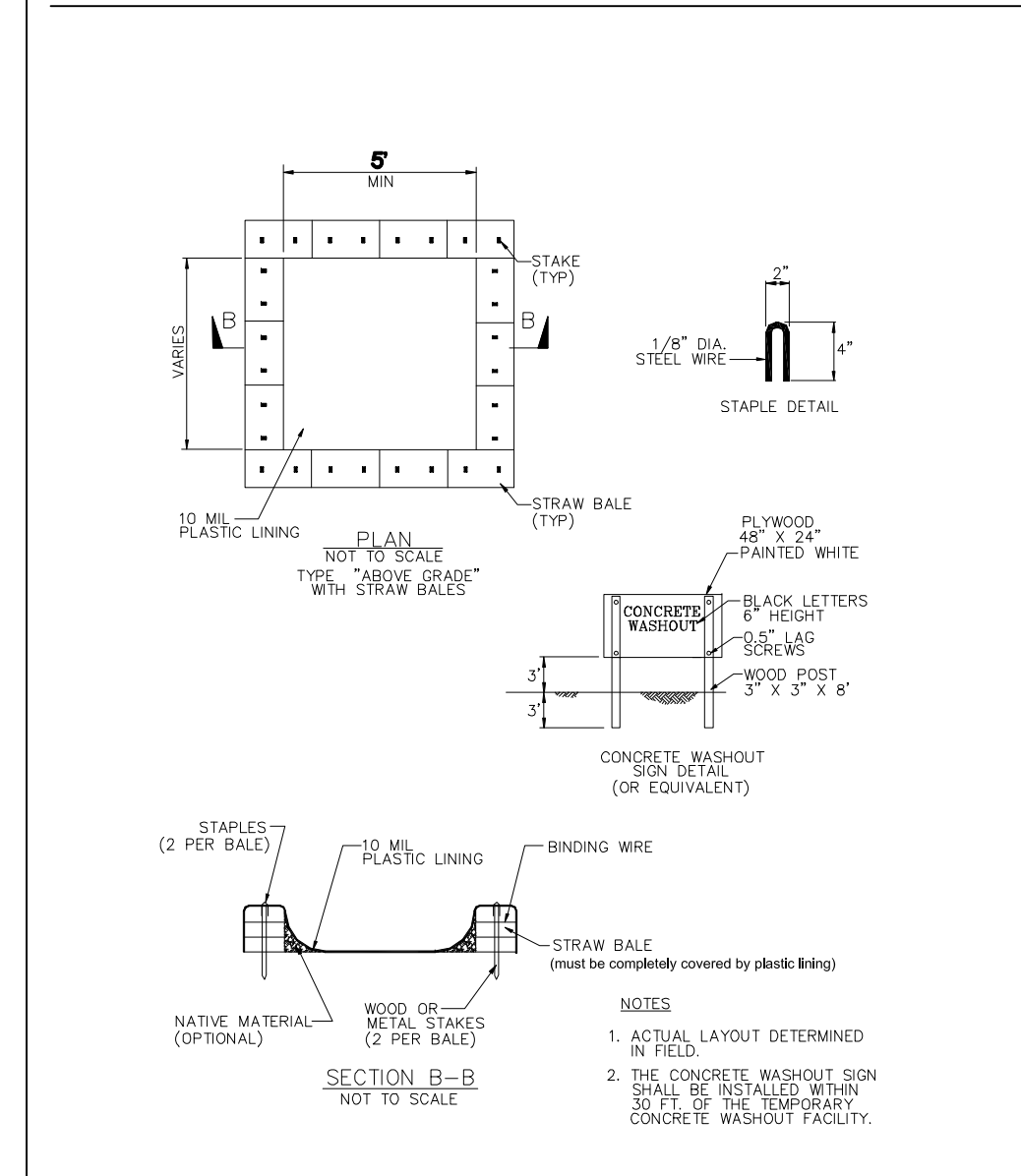
DATE: 5-11-22
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
JENSEN PROPERTY
1062 SAN CARLOS AVENUE
EL GRANADA
APN 047-056-020

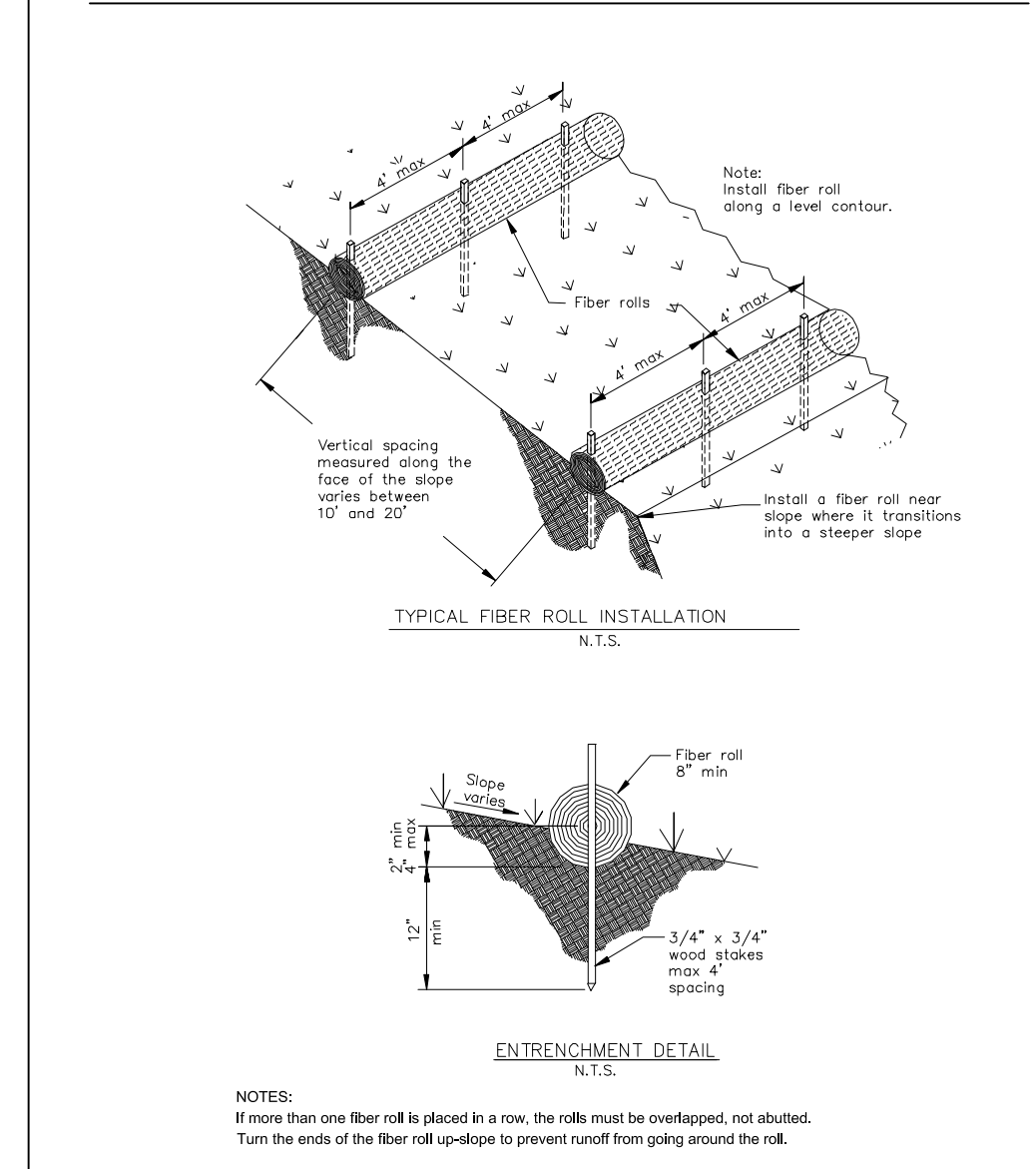
SHEET
C-2



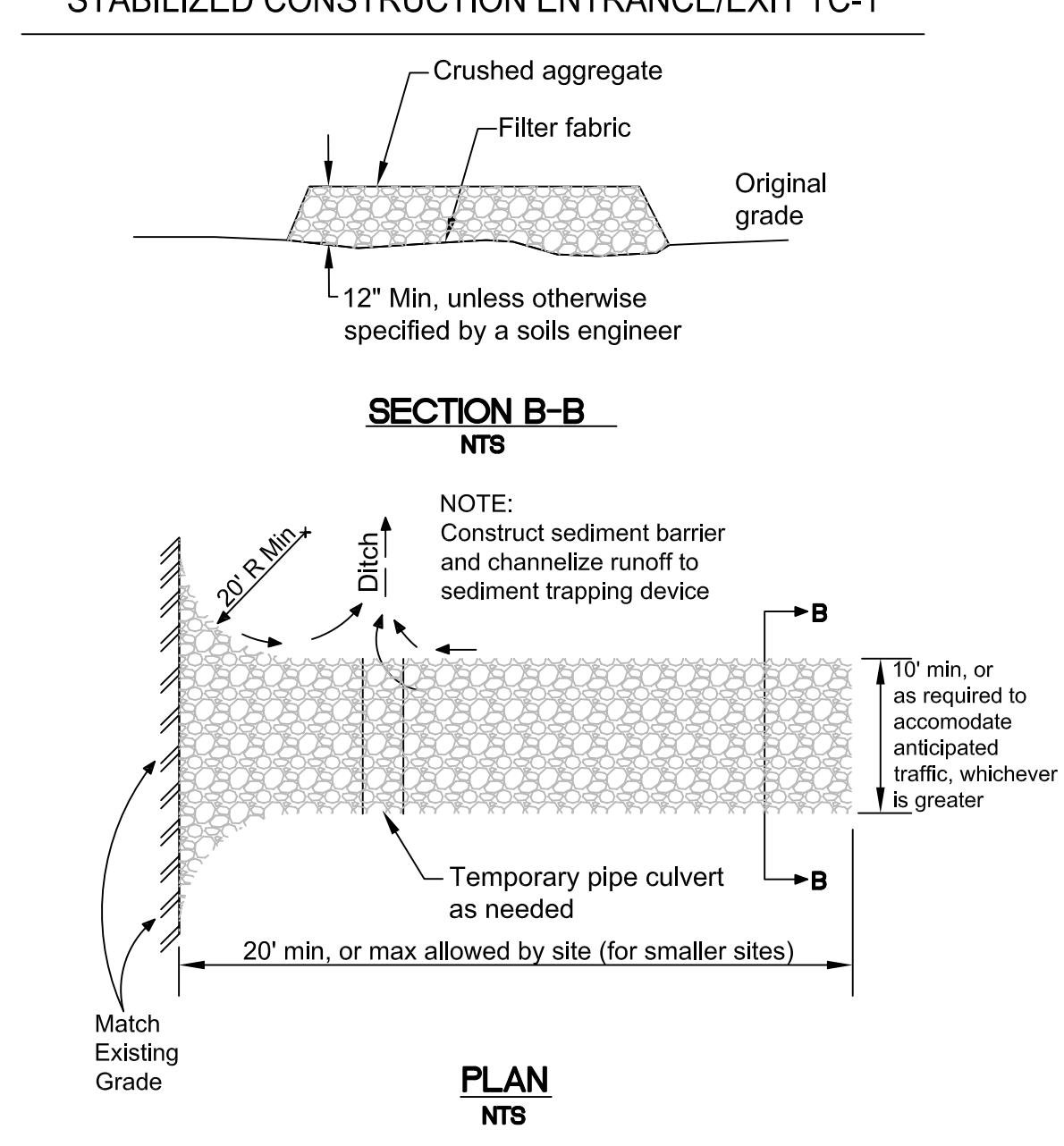
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADILLA
 94019

REVISIONS:

| | | |
|----|------------------------------------|----------|
| 1. | DRAINAGE / WATER DISTRICT COMMENTS | 10-26-22 |
| 2. | PLANNING DEPT. COMMENTS | 12-21-22 |

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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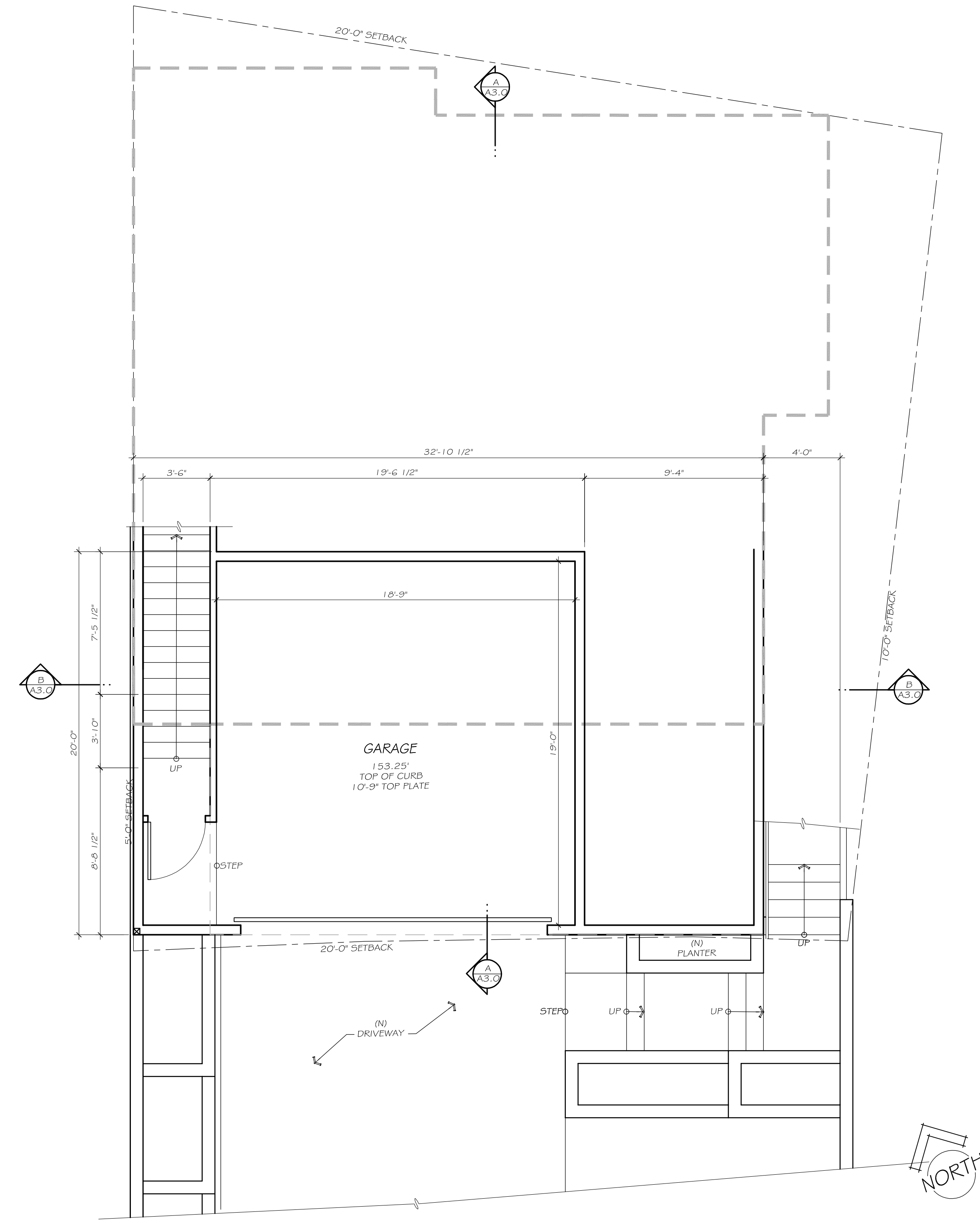
DATE: DECEMBER 21, 2022

SHEET TITLE:

GARAGE LEVEL FLOOR PLAN

SHEET NUMBER:

A1.2



GARAGE LEVEL PLAN
 SCALE: 1/4" = 1'-0"

OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADILLA
 94019

REVISIONS:
 1. DRAINAGE / WATER DISTRICT COMMENTS 10-26-22
 2. PLANNING DEPT. COMMENTS 12-21-22

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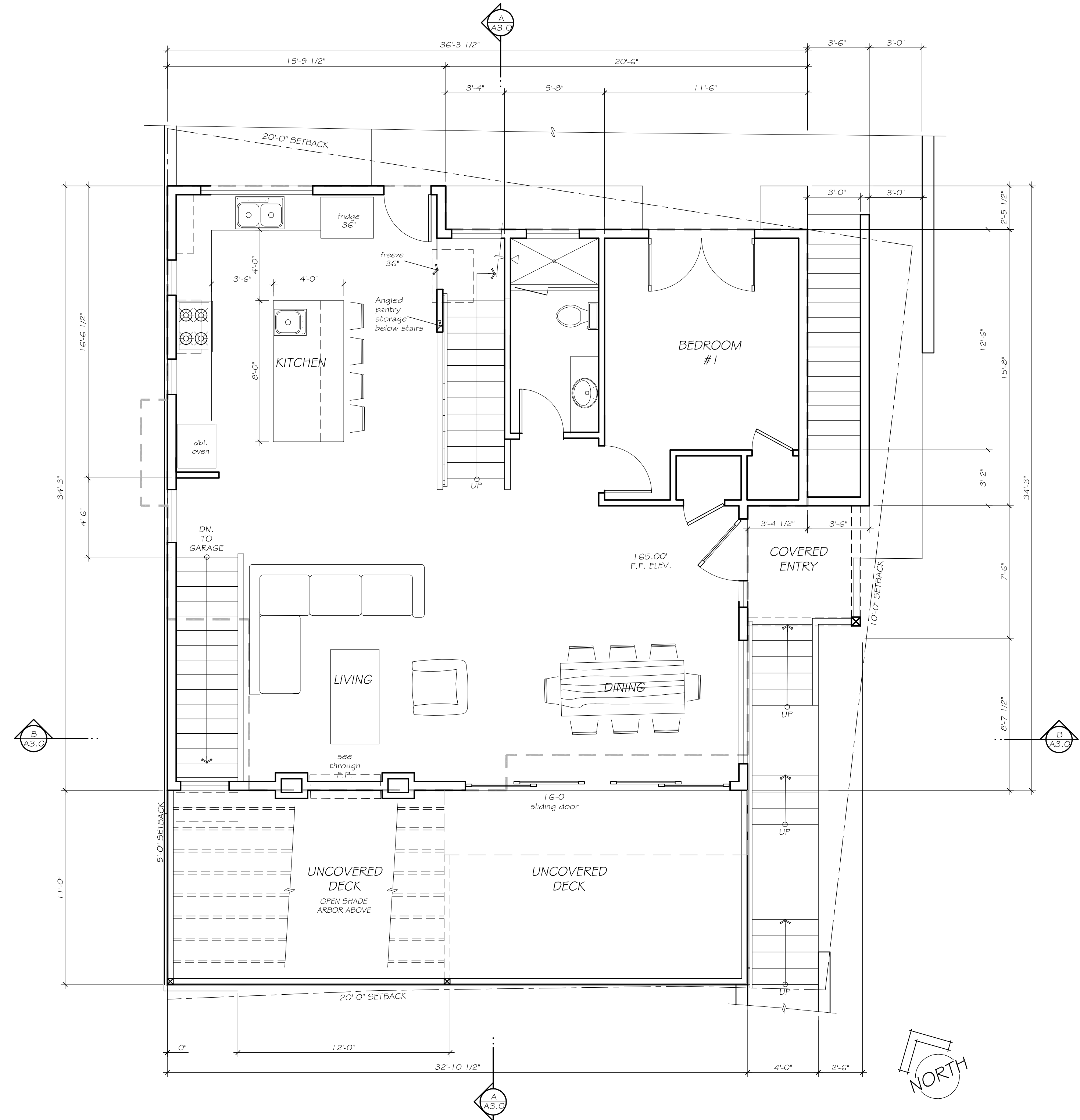
DATE: DECEMBER 21, 2022

SHEET TITLE:

MAIN LEVEL FLOOR PLAN

SHEET NUMBER:

A1.3



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADACA
 94019

REVISIONS:
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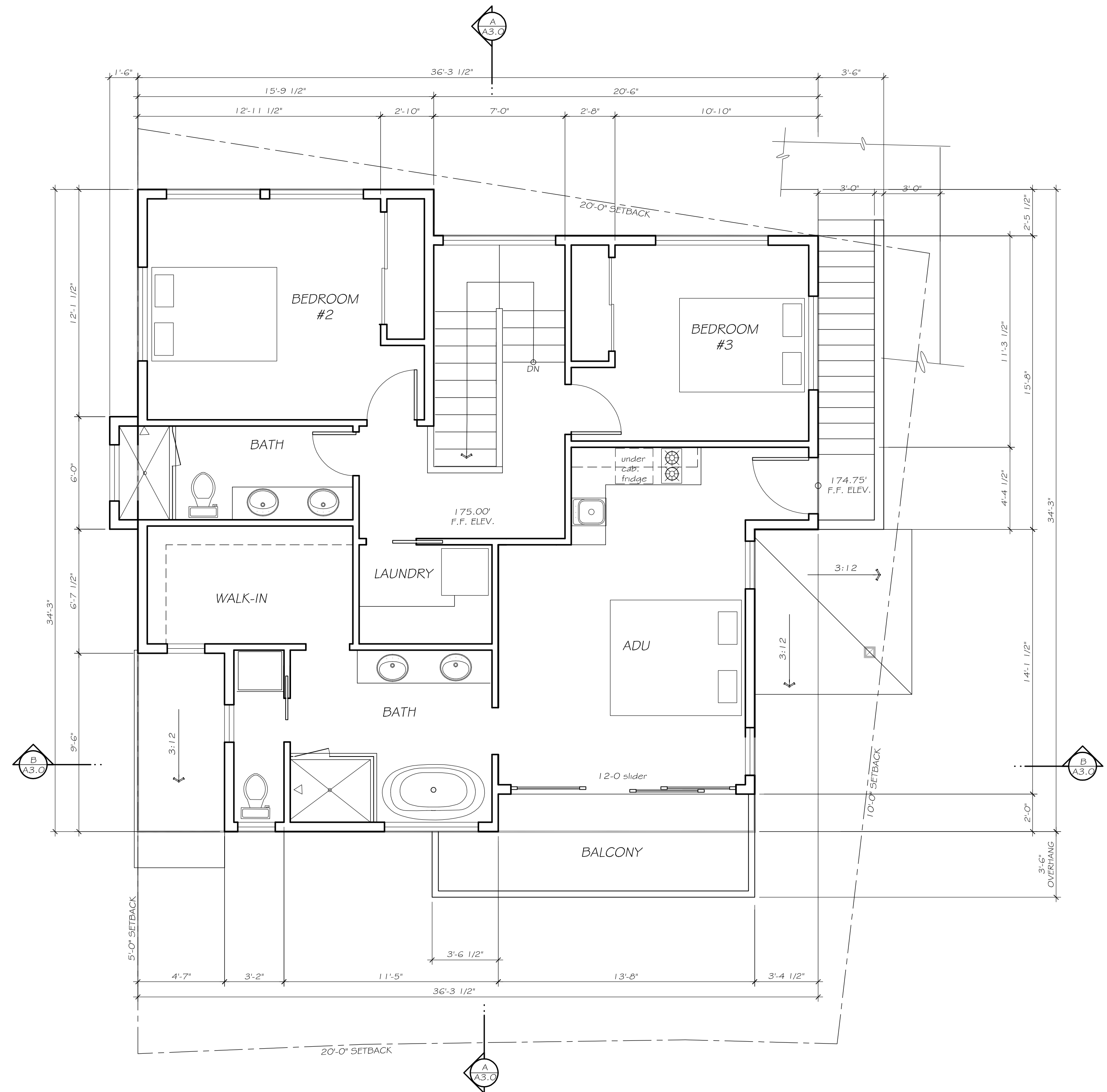
DATE: DECEMBER 21, 2022

SHEET TITLE:

UPPER LEVEL FLOOR PLAN

SHEET NUMBER:

A1.4



UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADILLA
 94019

REVISIONS:
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 2. PLANNING DEPT. COMMENTS 12-21-22

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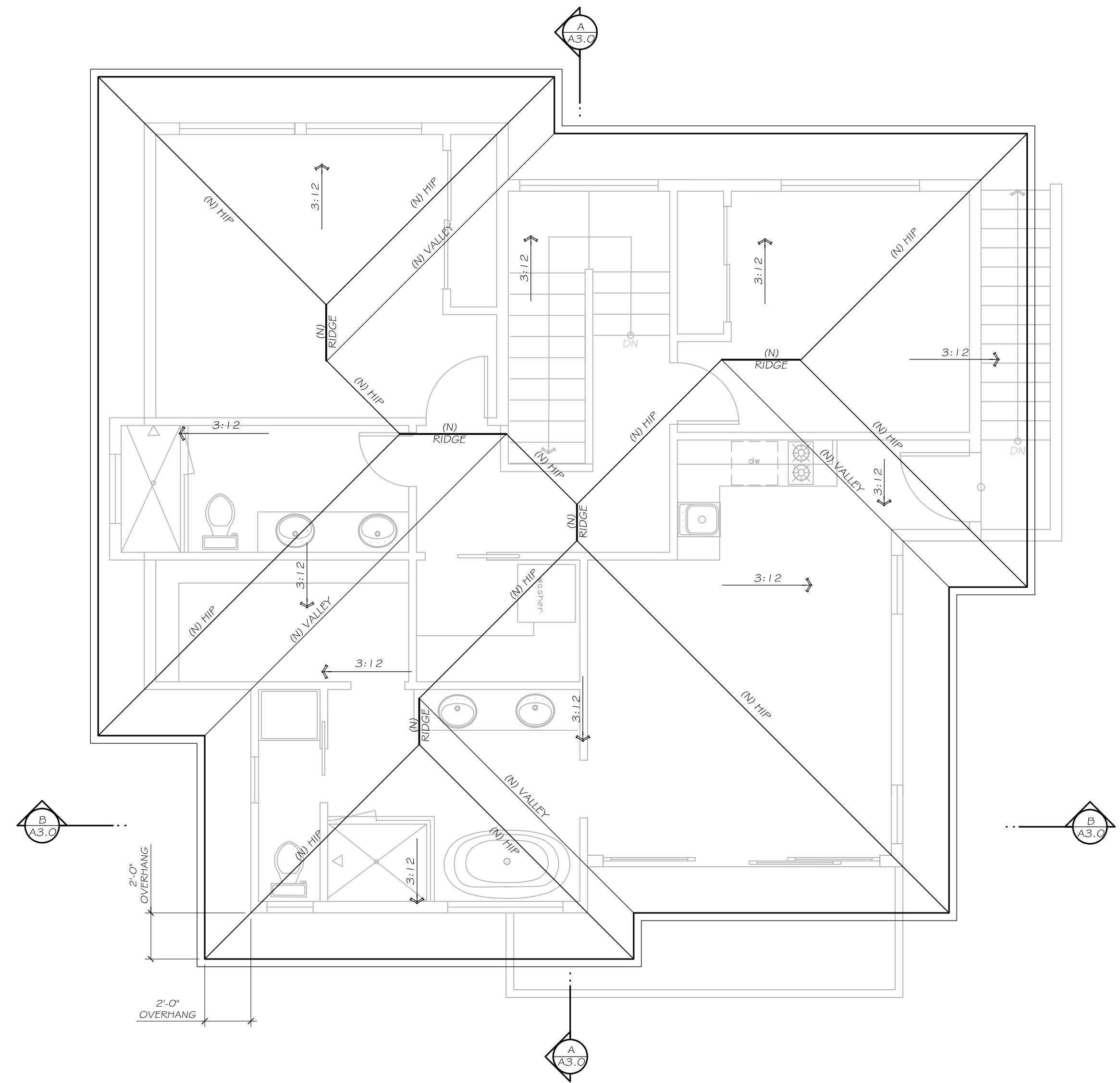
DATE: DECEMBER 21, 2022

SHEET TITLE:

ROOF PLAN

SHEET NUMBER:

A1.5



1. PROVIDE NEW ASPHALT COMPOSITION SHINGLE ROOFING OVER #15 FELT UNDERLAYMENT OVER PLYWOOD ROOF SHEATHING AT ALL NEW ROOF AREAS.
2. ROOF SHINGLES TO BE: CERTAINTED "PRESIDENTIAL SHAKE SOLARIS" CLASS "A" RATED COOL ROOFING / CRRC PRODUCT ID # 0668 - 0132 "SOLARIS CHARCOAL BLACK"

ROOF PLAN NOTES / LEGEND

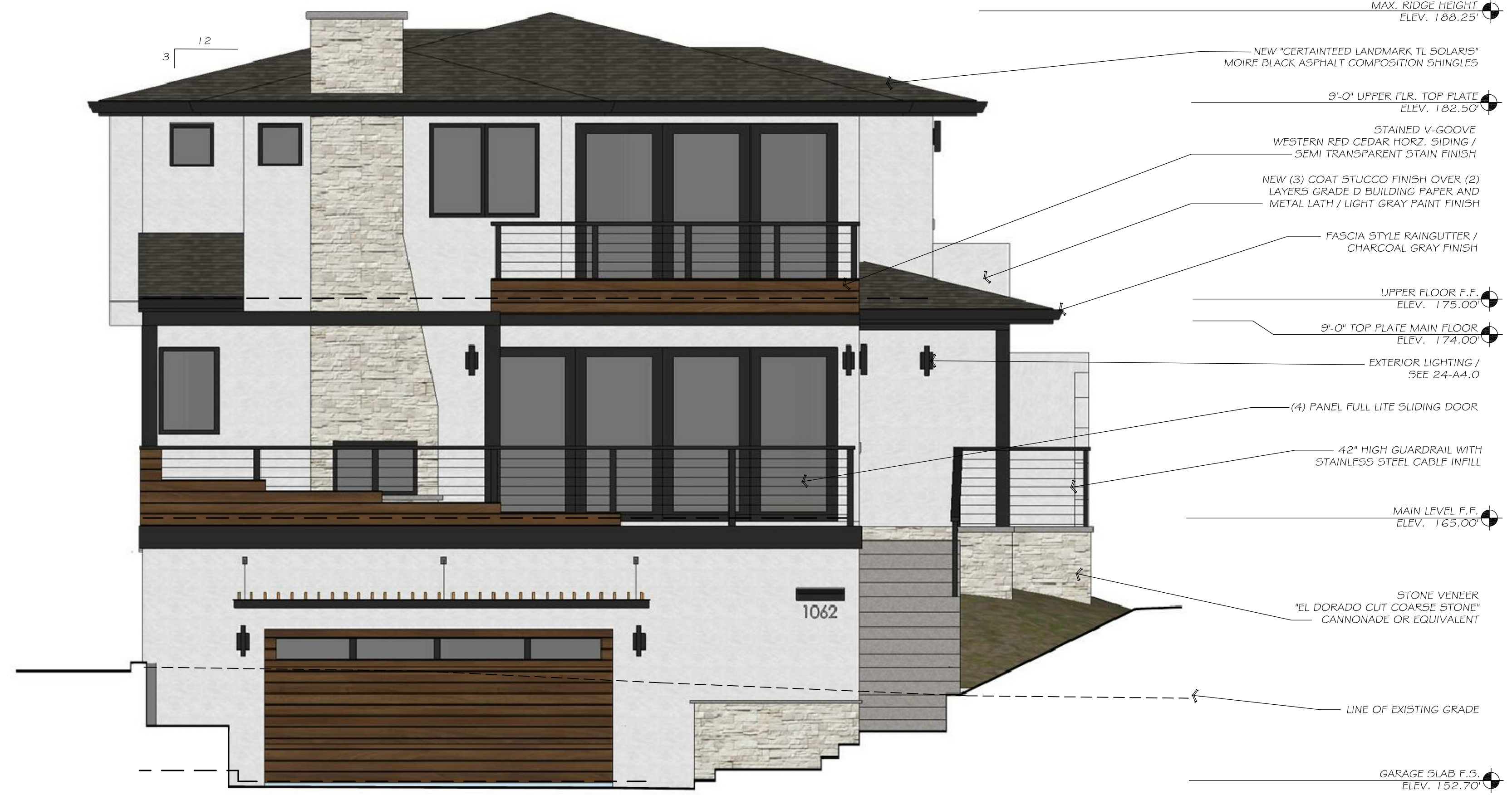


ROOF PLAN
 SCALE: 1/4" = 1'-0"



FRONT PERSPECTIVE
NOT TO SCALE

41



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

21



ENTRY PERSPECTIVE
NOT TO SCALE

44



EAST ELEVATION
SCALE: 1/4" = 1'-0"

22

OWNER:
WENDY AND ADAM JENSEN
121 BRIDGEPORT DR.
HALF MOON BAY, CA
94019

PROJECT:
JENSEN RESIDENCE
047-066-020
SAN CARLOS AVENUE
EL GRANADILLA
94019

REVISIONS:
1. DRAINAGE / WATER DISTRICT
COMMENTS 10-26-22
2. PLANNING DEPT. COMMENTS
12-21-22

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DATE: DECEMBER 21, 2022
SHEET TITLE:

PROPOSED
EXTERIOR
ELEVATIONS

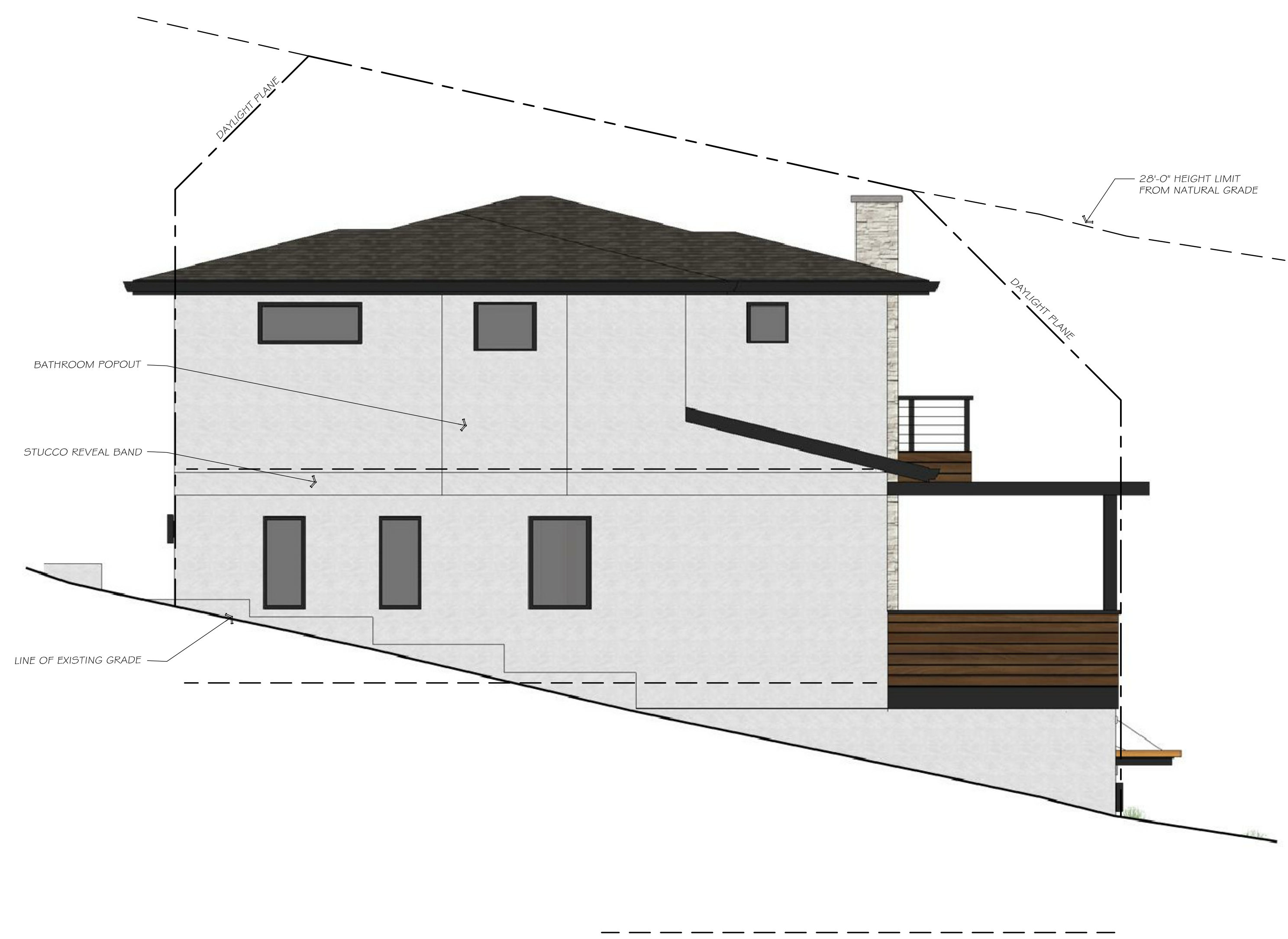
SHEET NUMBER:

A2.0



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

21



WEST ELEVATION
SCALE: 1/4" = 1'-0"

24



REAR PERSPECTIVE
NOT TO SCALE

44

OWNER:
WENDY AND ADAM JENSEN
121 BRIDGEPORT DR.
HALF MOON BAY, CA
94019

PROJECT:
JENSEN RESIDENCE
047-066-020
SAN CARLOS AVENUE
EL GRANADUCA
94019

REVISIONS:

| | | |
|----|------------------------------------|----------|
| 1. | DRAINAGE / WATER DISTRICT COMMENTS | 10-26-22 |
| 2. | PLANNING DEPT. COMMENTS | 12-21-22 |

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
Contractor shall verify and be responsible for all dimensions and conditions on this job.
Written dimensions on these drawings shall take precedence over scaled dimensions. Small scale drawings take precedence over larger scale drawings.
Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

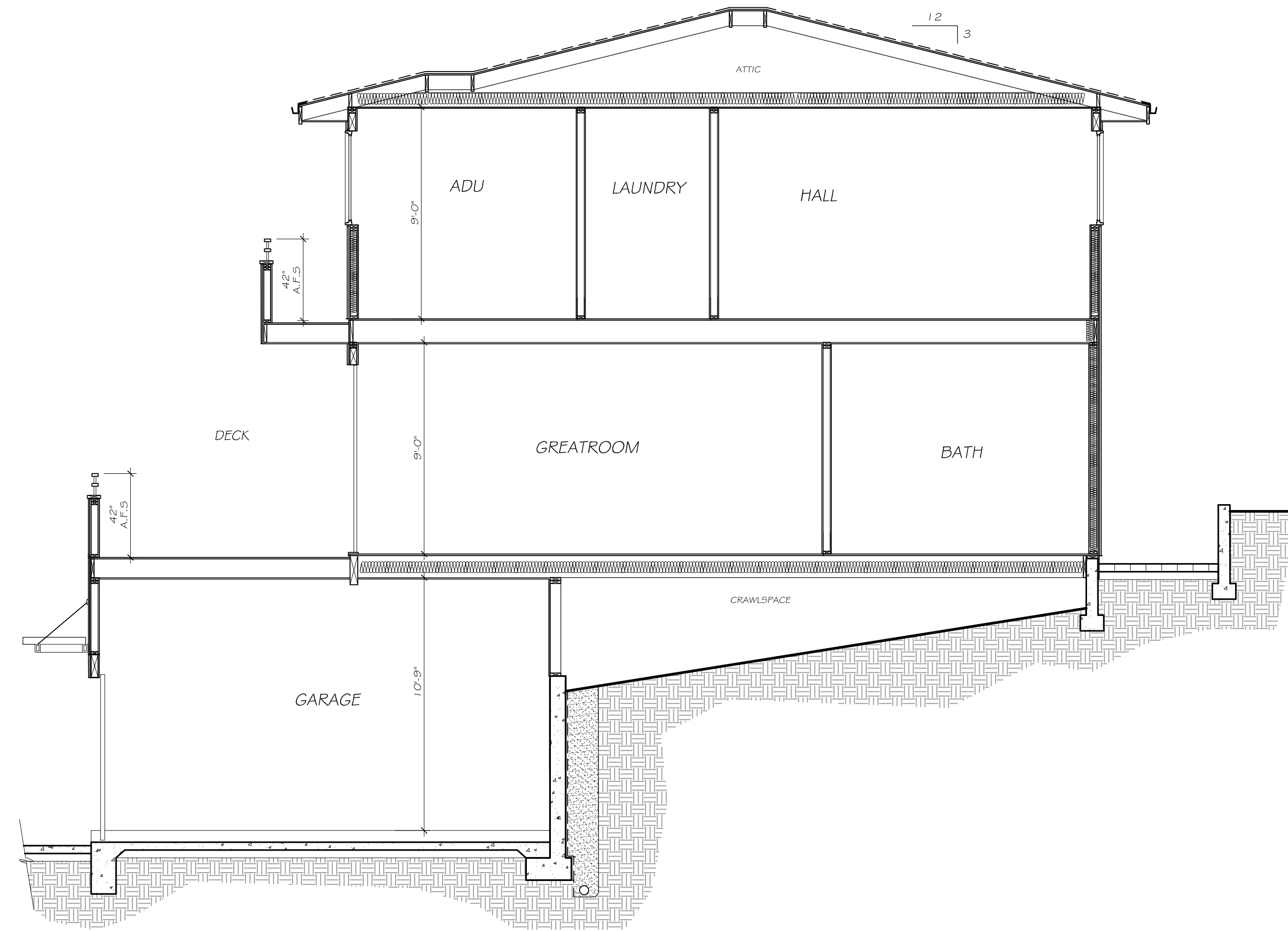
DATE: DECEMBER 21, 2022

SHEET TITLE:

PROPOSED EXTERIOR ELEVATIONS

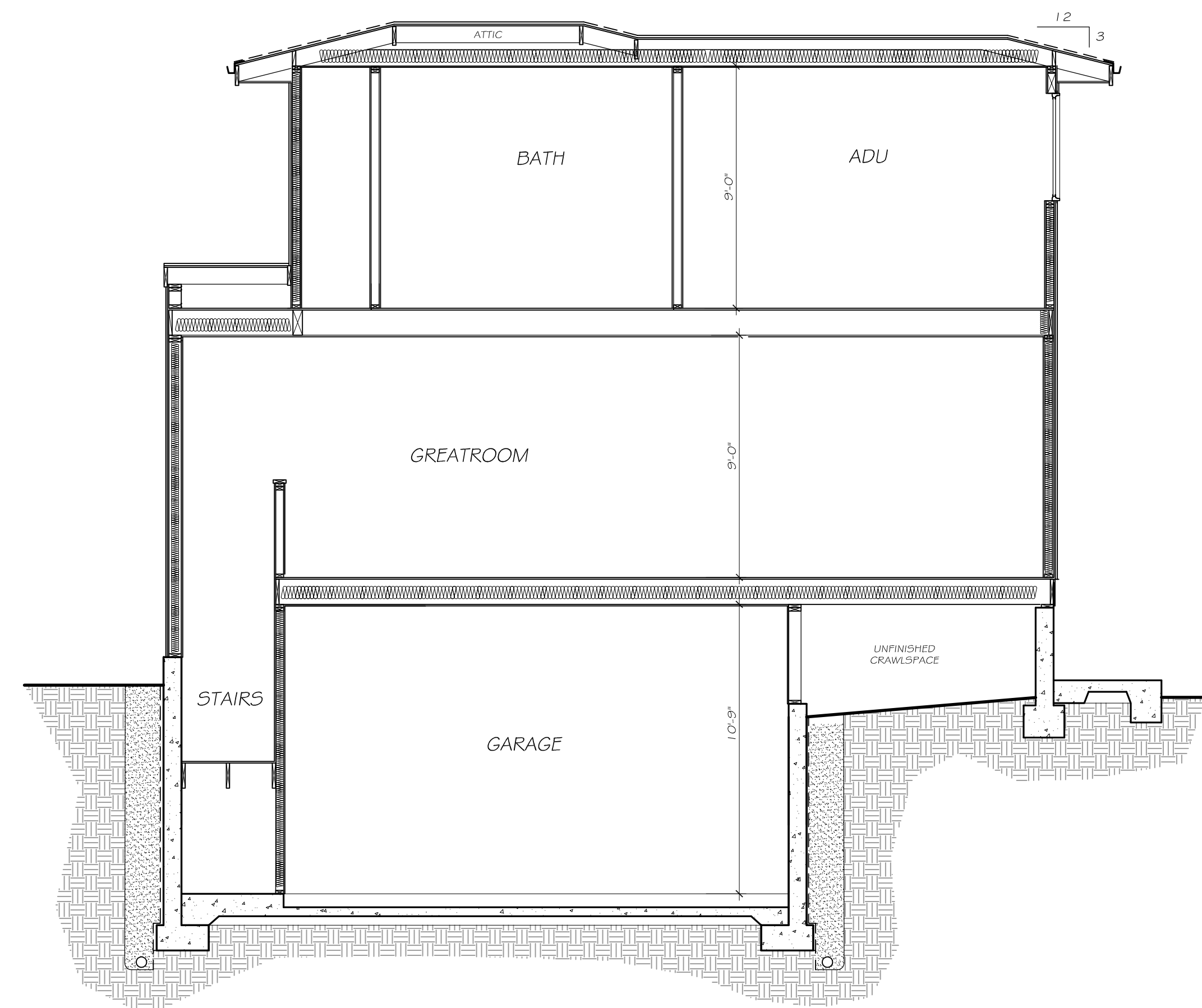
SHEET NUMBER:

A2.1



SECTION A
SCALE: 1/4" = 1'-0"

24



SECTION B
SCALE: 1/4" = 1'-0"

24

OWNER:
WENDY AND ADAM JENSEN
121 BRIDGEPORT DR.
HALF MOON BAY, CA
94019

PROJECT: JENSEN RESIDENCE

047-066-020
SAN CARLOS AVENUE
EL GRANADA CA
94019

- REVISIONS:
- 1. DRAINAGE / WATER DISTRICT COMMENTS 10-26-22
 - 2. PLANNING DEPT. COMMENTS 12-21-22

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.

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Contractor and/or owner shall take full responsibility for water proofing of proposed structure.

DATE: DECEMBER 21, 2022

SHEET TITLE:

SECTIONS

SHEET NUMBER:

A3.0

OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-066-020
 SAN CARLOS AVENUE
 EL GRANADILLA
 94019

REVISIONS:
 1. DRAINAGE / WATER DISTRICT COMMENTS 10-26-22
 2. PLANNING DEPT. COMMENTS 12-21-22

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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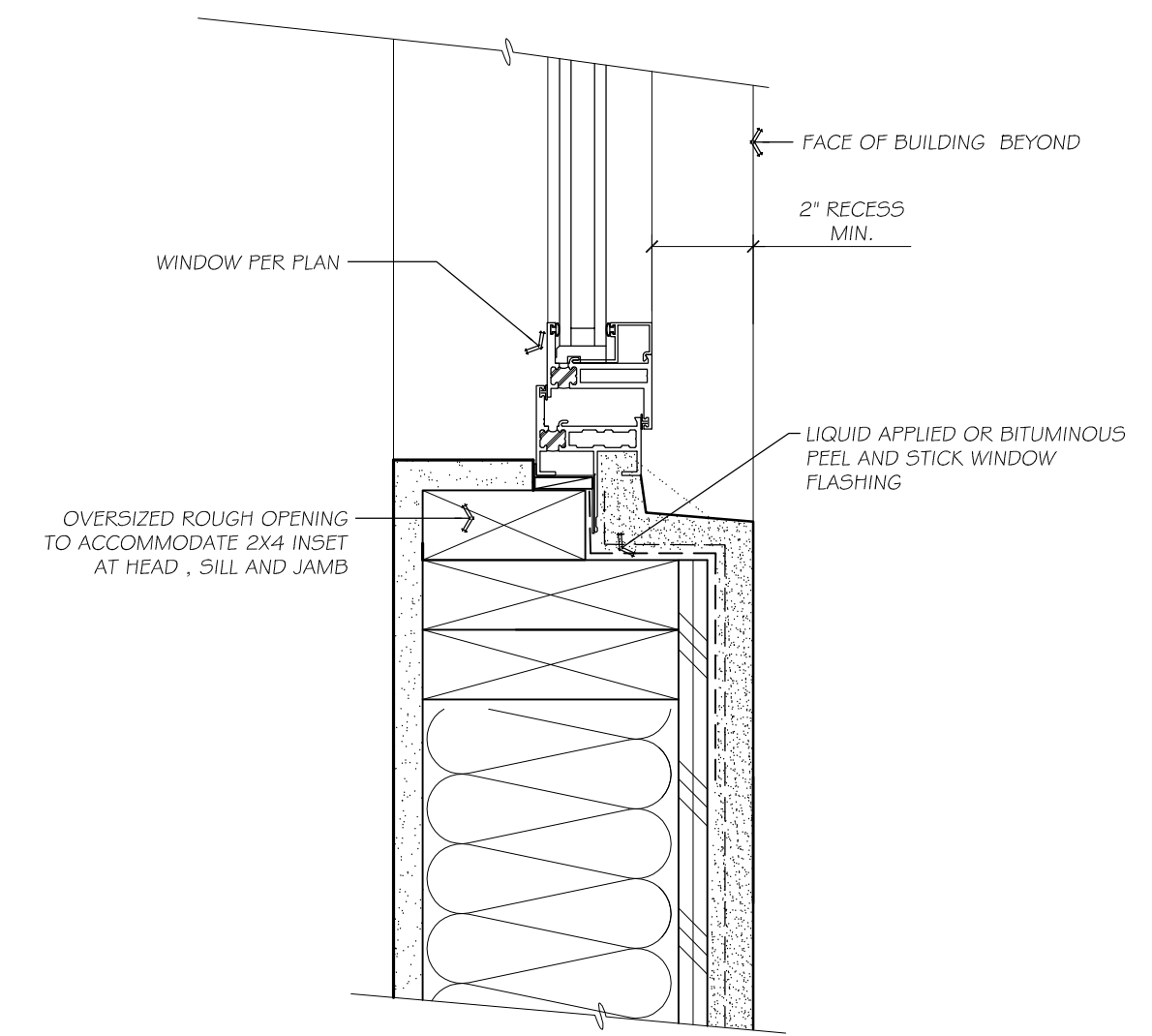
DATE: DECEMBER 21, 2022

SHEET TITLE:

ARCH DETAILS

SHEET NUMBER:

A4.0



WINDOW RECESS AT STUCCO
 NOT TO SCALE

44

CHARA SQUARE 12 OUTDOOR WALL



Strikingly elegant in its simplicity, the Chara Square 12 by Tech Lighting is a squared wall sconce design that creates a modern industrial look. Chara produces abundant up and down lighting for indoor or outdoor illumination. Available in a modern Black Finish, three sizes and as a Rounded design aesthetic for a coordinating look.

- Outstanding protection against the elements:**
- Powder coat finishes
 - Stainless Steel mounting hardware
 - Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

| | |
|-----------------------|---|
| DELIVERED LUMENS | 10k L |
| WATTS | 11.85 |
| VOLTAGE | Universal 120V/277V |
| DIMMING | Compatible with most LED compatible 0-10V & TRAC dimmers $\pm 0.10V$ |
| LIGHT DISTRIBUTION | Symmetric |
| OPTICS | Not applicable |
| MOUNTING OPTIONS | WMI |
| CCT | 3000K |
| CRI | 95+ |
| COLOR RENDERING | 9 Ra |
| BIDDING | \$154.00 |
| DAK SKY | Non-Compliant |
| WET LISTED | YES |
| GENERAL LISTING | ETL ADA |
| CALIFORNIA TITLE 24 | Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required. |
| START TEMP | 30°C |
| FIELD SERVICEABLE LED | No |
| CONSTRUCTION | Aluminum |
| HARDWARE | Stainless Steel |
| FINISH | Powder Coat |
| LED LIFE TIME | 175,000 Hours |
| WARRANTY** | 5 Years |
| WEIGHT | 2 lbs. |

* Visit techlighting.com for spec file, assembly instructions and details.

ORDERING INFORMATION

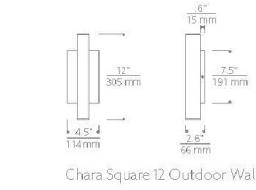
| PRODUCT | SHAPE | CRI/CCT | LENGTH | FINISH | FUNCTION | VOLTAGE |
|----------|--------|-----------|---------|--------|--------------------------|-------------|
| 3000WCHA | SQUARE | 95+ 3000K | 12" 12" | BL-ACC | MB-UP/LIGHT & DOWN/LIGHT | 120V / 277V |

techlighting.com

EXTERIOR LIGHTING
 NOT TO SCALE

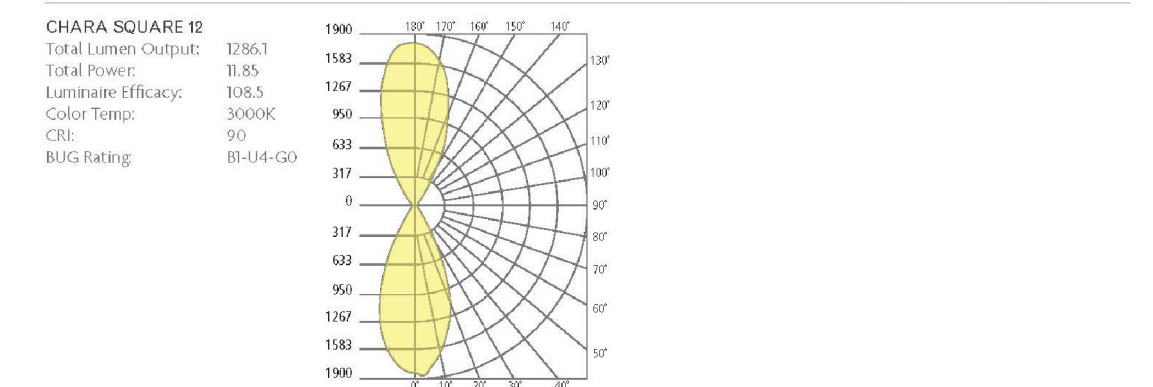
24

CHARA SQUARE 12 OUTDOOR WALL



Chara Square 12 Outdoor Wall

PHOTOMETRICS*



PROJECT INFO

INCLUDE THE QUANTITY: _____ JOB/PROJECT # INFO: _____ NOTES: _____



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techlighting.com

OWNER:
 WENDY AND ADAM JENSEN
 121 BRIDGEPORT DR.
 HALF MOON BAY, CA
 94019

PROJECT:
JENSEN RESIDENCE
 047-056-020
 SAN CARLOS AVENUE
 EL GRANADILLA
 94019

REVISIONS:
 1. DRAINAGE / WATER DISTRICT COMMENTS 10-26-22
 2. PLANNING DEPT. COMMENTS 12-21-22

Contractor shall notify the Designer of any on-site discrepancies or conflicts that do not allow the building to be constructed as per plans.
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DATE: DECEMBER 21, 2022

SHEET TITLE:
CONCEPTUAL LANDSCAPE PLAN

SHEET NUMBER:

L1.0

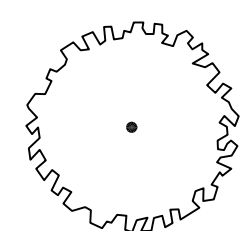
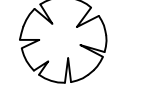
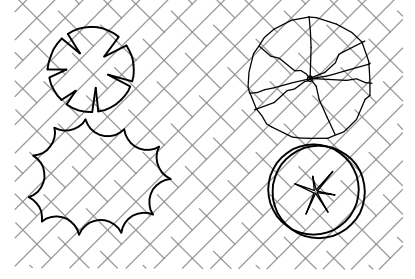
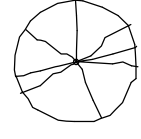
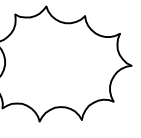
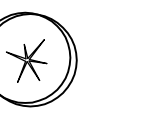
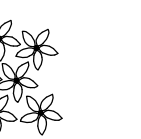
AREA OF NEW IRRIGATED LANDSCAPE = 840 SF

1. INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SF, TO A DEPTH OF 6" INTO LANDSCAPED AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST)
2. A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRA-INDICATED.
3. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
4. POTABLE WATER FOR IRRIGATION TO BE PROVIDED BY COASTSIDE COUNTY WATER DISTRICT

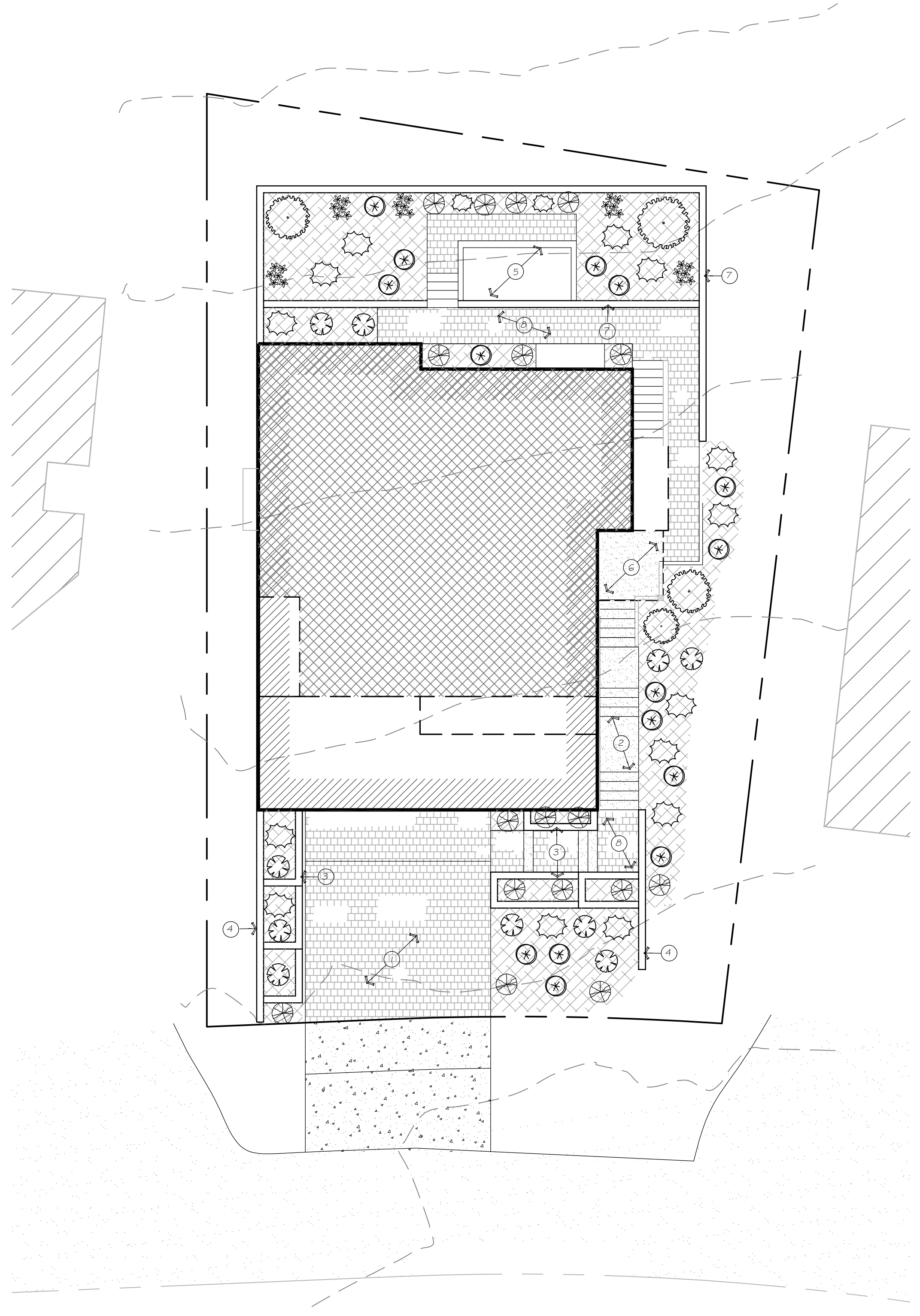
LANDSCAPE NOTES 12

1. IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING
 - a. Automatic weather-based or soil moisture based irrigation controllers shall be installed on the irrigation system.
 - b. Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range.
 - c. Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
 - d. Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produce no runoff or overspray.

IRRIGATION NOTES 13

| | | | |
|---|---|--|---|
| "LITTLE OLIVE" DWARF OLIVE OLEA EUROPAEA SIZE - 1 GALLON QUANTITY: 4 WATER USE FACTOR: VERY LOW |  | MUNSTEAD LAVENDER (LAVANDULA MUNSTEAD) SIZE - 1 GALLON QUANTITY: 9 WATER USE FACTOR: LOW |  |
| MULCH W/ LOW WATER PLANTINGS |  | LARGE CAPE RUSH CHONDROFETALUM ELEPHANTINUM SIZE - 1 GALLON QUANTITY: 17 WATER USE FACTOR: LOW |  |
| | | KANGAROO PAW ANGOZANTHOS SIZE - 1 GALLON QUANTITY: 16 WATER USE FACTOR: LOW |  |
| | | FOXTAIL AGAVE (AGAVE ATTENUATA) SIZE - 1 GALLON QUANTITY: 15 WATER USE FACTOR: LOW |  |
| | | PARROT'S BEAK VINE LOTUS BERTHELOTII SIZE - 1 GALLON QUANTITY: 5 WATER USE FACTOR: LOW |  |

PLANT LEGEND 14



- 1 IMPERVIOUS PAVEMENT DRIVEWAY
- 2 CONCRETE WALKWAY AND STAIRS WITH STONE OR TILE F.S.
- 3 CONCRETE PLANTERS WITH STONE VENEER FINISH / MAX. HEIGHT 4'-0"
- 4 CONCRETE RETAINING WALLS IN FRONT YARD / MAX. HEIGHT 4'-0"
- 5 BUILT IN SWIM SPA PER OWNER
- 6 COVERED ENTRY PORCH
- 7 CONCRETE RETAINING WALLS
- 8 PERMEABLE PAVERS

REFERENCE NOTES 54

CONCEPTUAL LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0" 44