

May 22, 2017

Greg Van Mechelen
732 Gilman Street
Berkeley, CA 94710

Dear Mr. Van Mechelen:

SUBJECT: Coastside Design Review Recommendation
Avenue Balboa, El Granada
APN 047-105-100; County File No. PLN 2017-00053

At its meeting of May 11, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a new 3,312 sq. ft. single-family residence with an attached two-car garage and an attached 700 sq. ft. second dwelling unit, on a 6,250 sq. ft. legal parcel (Certificate of Compliance completed under PLN 2015-00479), as part of an associated staff-level Grading Permit for 560 c.y. of excavation. No tree removal is proposed. The Second Unit (also called an Accessory Dwelling unit or ADU) is a ministerial project that does not require review by the CDRC and will be considered at staff-level.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Section 6565.20(D). ELEMENTS OF DESIGN; 2. Architectural Features c. Entries: Integrate the external stairs with the main body of the house. Redesign the entry procession with regard to the second floor door. Redesign the entry procession with regard to both the second floor and the side doors. Create a more formal second floor main entry and add a recess and canopy to the side secondary entrance if possible. Avoid tunnels or bridges when accessing either entry.

Suggestions

- a. Use 4x4 posts with 1" horizontal rods for the railing systems.
- b. Provide the manufacturer's specifications sheet for the solar panels or the solar shingles.
- c. Indicate where the hot water heater for the ADU will be located.



- d. Use translucent glass to a minimum height of 6 feet for the second floor kitchen windows on the west elevation.
- e. Work with the project planner to obtain an off-street tandem parking exception.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre, Design Review Officer

CML:jlh_CMLBB0263_WJN.DOCX

cc: Stuart Grunow, Member Architect
Chris Johnson, El Granada Community Representative
Heather Peters and Michael Cassadine, Property Owners
Alicia and Mike Lewis, Interested Members of the Public
David Mase and Connie Glaspie-Mase, Interested Members of the Public
Louis James Michetti and Debra Lynn Kessler, Interested Members of the Public

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Product Information

Description

- Reduce noise and save energy with vinyl-backed, polystyrene insulation
- Take back your weekend with low maintenance, durable steel construction
- Versatile, traditional design boosts curb appeal and windows bring in light
- Enjoy increased peace of mind with Pella's SafeShield patented hardware
- Heavy-duty 14-gauge hardware and premium nylon rollers come standard with every Pella door
- Five-layer paint system provides durable, long-lasting color
- Manufactured in the USA from recycled steel

Specifications

Actual Height (Inches)	84	Construction Type	Vinyl-back construction
Actual Width (Inches)	96	Decorative Hardware Included	✗
Thickness (Inches)	2	Hardware Finish	N/A
Insulated	✓	Hardware Included	✓
Windows	✓	Window Material	N/A
Type	Single	Tracks Included	✓
Series	Traditional	Spring Type	Torsion

Material	Steel	Manufacturer Color/Finish	White
Carriage House	X	Color/Finish Family	White
High Impact	X	R Value	6.64
Warranty	25-year		

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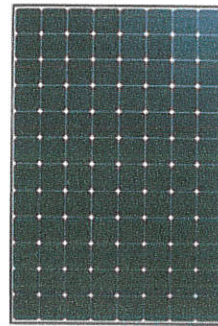
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The SunPower Maxeon Solar Cell is the only cell built on a solid copper foundation. Virtually impervious to the corrosion and cracking that degrade conventional panels.³

#1 Rank in Fraunhofer durability test.⁹

100% power maintained in Atlas 25+ comprehensive durability test.¹⁰

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High Efficiency⁵

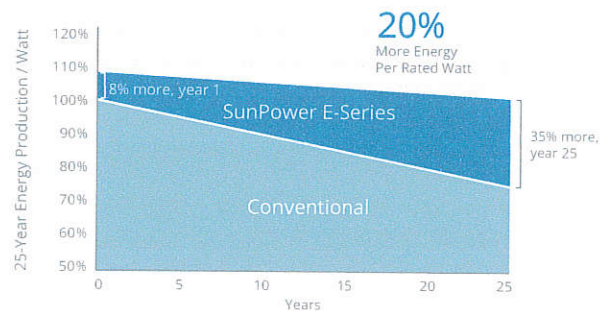
Generate more energy per square foot

E-Series residential panels convert more sunlight to electricity by producing 31% more power per panel¹ and 60% more energy per square foot over 25 years.^{1,2,3}

High Energy Production⁶

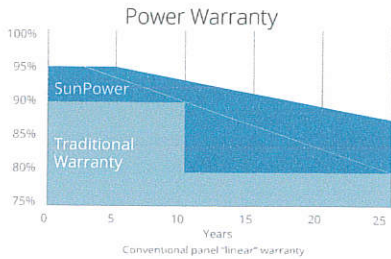
Produce more energy per rated watt

High year-one performance delivers 7-9% more energy per rated watt.² This advantage increases over time, producing 20% more energy over the first 25 years to meet your needs.³

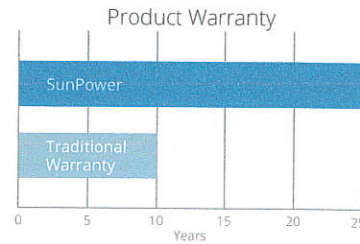


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Combined Power and Product defect 25-year coverage⁸

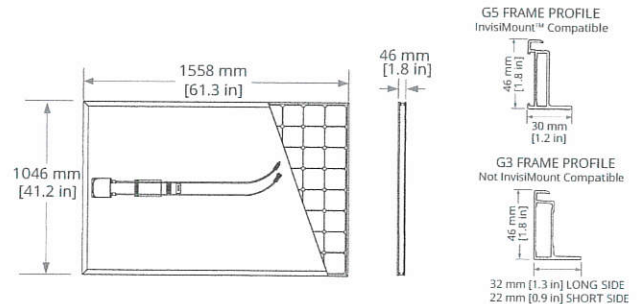
	Electrical Data	
	SPR-E20-327	SPR-E19-320
Nominal Power (P _{nom}) ¹¹	327 W	320 W
Power Tolerance	+5/-0%	+5/-0%
Avg. Panel Efficiency ¹²	20.4%	19.9%
Rated Voltage (V _{mpp})	54.7 V	54.7 V
Rated Current (I _{mpp})	5.98 A	5.86 A
Open-Circuit Voltage (V _{oc})	64.9 V	64.8 V
Short-Circuit Current (I _{sc})	6.46 A	6.24 A
Max. System Voltage	600 V UL & 1000 V IEC	
Maximum Series Fuse	15 A	
Power Temp Coef.	-0.35% / °C	
Voltage Temp Coef.	-176.6 mV / °C	
Current Temp Coef.	2.6 mA / °C	

Tests And Certifications	
Standard Tests ¹³	UL1703 (Type 2 Fire Rating), IEC 61215, IEC 61730
Quality Certs	ISO 9001:2008, ISO 14001:2004
EHS Compliance	RoHS, OHSAS 18001:2007, lead free, REACH SVHC-163, PV Cycle
Sustainability	Cradle to Cradle Certified™ Silver (eligible for LEED points) ¹⁴
Ammonia Test	IEC 62716
Desert Test	10.1109/PVSC.2013.6744437
Salt Spray Test	IEC 61701 (maximum severity)
PID Test	Potential-Induced Degradation free: 1000 V ⁹
Available Listings ¹⁵	UL, TUV, JET, MCS, FSEC, CEC

Operating Condition And Mechanical Data	
Temperature	-40° F to +185° F (-40° C to +85° C)
Impact Resistance	1 inch (25 mm) diameter hail at 52 mph (23 m/s)
Appearance	Class A
Solar Cells	96 Monocrystalline Moxeon Gen II
Tempered Glass	High-transmission tempered anti-reflective
Junction Box	IP-65, MC4 compatible
Weight	41 lbs (18.6 kg)
Max. Load	G5 Frame: Wind: 62 psf, 3000 Pa front & back Snow: 125 psf, 6000 Pa front
	G3 Frame: Wind: 50 psf, 2400 Pa front & back Snow: 112 psf, 5400 Pa front
Frame	Class 1 black anodized (highest AAMA rating)

REFERENCES:

- All comparisons are SPR-E20-327 vs. a representative conventional panel: 250 W, approx. 1.6 m², 15.3% efficiency.
- Typically 7-9% more energy per watt, BEW/DNV Engineering "SunPower Yield Report," Jan 2013.
- SunPower 0.25%/yr degradation vs. 1.0%/yr conv. panel. Campeau, Z. et al. "SunPower Module Degradation Rate," SunPower white paper, Feb 2013; Jordan, Dirk "SunPower Test Report," NREL, Q1-2015.
- "SunPower Module 40-Year Useful Life" SunPower white paper, May 2015. Useful life is 99 out of 100 panels operating at more than 70% of rated power.
- Second highest, after SunPower X-Series, of over 3,200 silicon solar panels, Photon Module Survey, Feb 2014.
- 6% more energy than the average of the top 10 panel companies tested in 2012 (151 panels, 102 companies), Photon International, Feb 2013.
- Compared with the top 15 manufacturers. SunPower Warranty Review, May 2015.
- Some restrictions and exclusions may apply. See warranty for details.
- 5 of top 8 panel manufacturers tested in 2013 report, 3 additional panels in 2014. Ferrara, C., et al. "Fraunhofer PV Durability Initiative for Solar Modules: Part 2". Photovoltaics International, 2014.
- Compared with the non-stress-tested control panel. Atlas 25+ Durability test report, Feb 2013.
- Standard Test Conditions (1000 W/m² irradiance, AM 1.5, 25° C). NREL calibration Standard: SOMS current, LACCS FF and Voltage.
- Based on average of measured power values during production.
- Type 2 fire rating per UL1703:2013, Class C fire rating per UL1703:2002.
- See salesperson for details.
- Only SPR-E20-327 has JET certification.



See www.sunpower.com/facts for more reference information. For more details, see extended datasheet: www.sunpower.com/datasheets.

G5 frames have no mounting holes. Please read the safety and installation guide.

Document # 504860 Rev F/LTR_US

PLN2017-00053

Lamps Plus | Landscape Lighting | Path Lights | Led | Contemporary | Large 18" High Mushroom Black LED Path Light

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Large 18" High Mushroom Black LED Path Light - Style # 2C498

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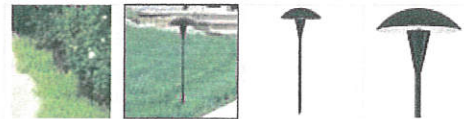
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6 Reviews

Add this mushroom-top path light to your landscape lighting system to illuminate pathways, patio areas, garden plantings and more.

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PRODUCT DETAILS

This stylish path light is a perfect choice for your landscape. Light up pathways and garden areas to enhance the look and keep things safe. This "mushroom top" design comes in a black finish. The LED has a long life, so no

- 18" high x 7" wide.
- 4 watt built-in LED; 3000K color temperature, 340 lumens, comparable to a



Large 18" High Mushroom Black LED Path Light

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EFFICIENT



- Works with low voltage landscape lighting systems.

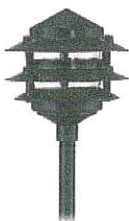
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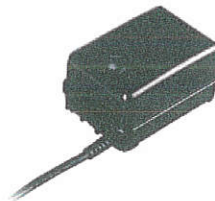
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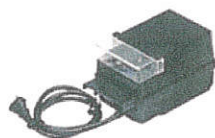
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CUSTOMER REVIEWS

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PRODUCT REVIEWS SUMMARY for Large 18" High Mushroom Black LED Path Light

Avg. Customer Rating: **4.7 Stars (based on 6 reviews)**

100 % of respondents would recommend this to a friend

Customers most agreed on the following attributes:

Pros: Area of illumination(6), Attractive(6), Easy to change bulb(2), Good price / value(1), LED BULBS(1), Low power requirement(1), Overall construction(1), Weather proof(4)

Cons: Low wattage(1), Stake is very thin(1)

Best Uses: Any landscape areas, like an island(1), Back yard(3), Front yard(2), Garden(2), Pool/pond area(2), Porch(1), Walkway(6)

Describe Yourself: Avid do-it-yourselfer(1), Beginner(1), Casual do-it-yourselfer(4)

Yourselves:

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REVIEWED BY 6 CUSTOMERS

Sort by: Newest first

Displaying Reviews 1 - 5 of 6

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Buying more of these excellent lights

By micky from Huntington Beach, C on 11/5/2016

Pros: Attractive Design, Easy To Change Bulb, Area Of Illumination, Weather Resistant

Best Uses: Walkway, Back Yard, Front Yard

Describe Yourself: Beginner

Bottom Line: Yes, I would recommend this to a friend

We had 16 of these installed last fall and loved them right away. I am getting more because we have a large area to illuminate. I did a thorough search for led path lights before purchasing these. Most were more expensive, seemed like same quality, etc. I did not do the installation so I can't say if they are easy to install. All I did was screw on the top mushroom part which was easy of course. One thing to be careful of...there is glass covering the bulb, I wasn't careful and I broke 2. It did not alter the output of light or functionality. For you beginners like me, if you are installing a lot of lights, make sure your transformer can handle the output. These are 4 watts so you have to add them all up and make sure the transformer is at least that many watts or more.

Was this review helpful to you? [Yes](#) / [No](#) - You may also [flag this review](#).

Wow, nice design and bright

By Nikon SME  VERIFIED REVIEWER from Sun Prairie, WI on 9/6/2016

Pros: Area Of Illumination, Weather Resistant, Overall Construction, Attractive Design



Large 18" High Mushroom Black LED Path Light

\$29.95

[PRODUCT DETAILS](#) | [RELATED PRODUCTS](#) | [OTHER OPTIONS](#) | [REVIEWS](#)

Purchased 15 of these large mushroom LED lights on June 13. After our July vacation I installed them. They are higher than the old low voltage landscape lights they replaced. Suggest you assemble all of them and then at one time and place them in the yard where you want to install them. Suggestions: Hold the rod and turn the mushroom top to tighten it. Nice quality of construction. Be sure you tighten each joint before pushing into the ground. Did not feel as other reviewers indicate that I had to paint the bottom of the mushroom. Mine were bright white. All metal construction. The water resistant nuts was a nice inclusion but they don't hold well with two 18 gauge wires. I substituted new ones if they did not hold. So be sure to pull them to ensure they are holding the two wires together. The illumination at night is terrific. Those 4 watts LED are very bright and we are both pleased with the purchase. The height helps with the wider light pattern but the LED is bright. I'll add a picture soon. I had one rod that not have enough threads extended to screw into the stake. I used a pair of pliers to grip the threads and turn it by holding the rod to expose more threads. Easy fix. The stakes are not plastic like the Big Box cheap stuff. The wire extending from the stake is more than enough to connect to the existing wire. I just cut the wire for the old lights near the base so had lots of wire to move them around. I spent hours looking on-line and in the big box stores and few landscape light have 4 watts LED per fixture and most don't disclose the temperature of the light and the lumens. This LED light is worth the price. Tip: watch the price they change every 2 weeks and they do very from sale to sale. Highly recommended. A very happy customer.

Was this review helpful to you? [Yes](#) / [No](#) - You may also [flag this review](#).

They're perfect!

By **BrookieCo**  from San Diego on 10/10/2015

Pros: LED BULBS!, Attractive Design, Area Of Illumination, Weather Resistant

Cons: Stake is very thin, Low Wattage

Best Uses: Gardens, Walkway, Back Yard


Describe Yourself: Casual Do-It-Yourselfer

Bottom Line: Yes, I would recommend this to a friend

I chose these after purchasing others online that were plastic and small in diameter. These have a nice black finish on metal with white on the bulb side underneath. The illumination is brighter than any solar fixtures I've seen yet soft with enough light to enhance the backyard. I am thrilled so far with the esthetic. Durability is yet to be tested.

Was this review helpful to you? [Yes](#) / [No](#) - You may also [flag this review](#).

I would order this again and again

By **GL**  from Naples on 10/6/2015

Pros: Weather Resistant, Area Of Illumination, Attractive Design, Easy To Change Bulb

Best Uses: Pool/Pond Area, Gardens, Walkway

Describe Yourself: Casual Do-It-Yourselfer

Bottom Line: Yes, I would recommend this to a friend

it was everything I expected

Was this review helpful to you? [Yes](#) / [No](#) - You may also [flag this review](#).

Good value, spray paint reflector to brighten ligh

By **Alan**  from Palo Alto, CA on 5/20/2015

Pros: Low Power Requirement, Value, Attractive Design, Area Of Illumination

Best Uses: Walkway

Describe Yourself: Casual Do-It-Yourselfer

Bottom Line: Yes, I would recommend this to a friend



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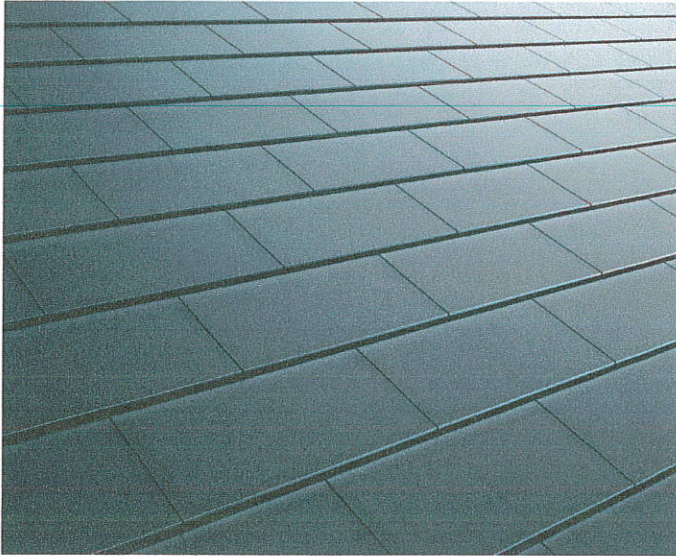


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Solar Roof complements your home's architecture while turning sunlight into electricity. With an integrated Powerwall battery, energy collected during the day is stored and made available any time, effectively turning your home into a personal utility. Glass solar tiles are so durable they are warranted for the lifetime of your house, or infinity, whichever comes first. Enter your address below to get started.

Enter your home address

GET STARTED



Invisible Solar Cells

Customize the amount of electricity your Solar Roof produces to fit your energy needs. This feature is made possible by using two types of glass tile, solar tile and non-solar tile. Both appear the same from street level.

Infinite Tile Warranty

Made with tempered glass, Solar Roof tiles are more than three times stronger than standard roofing tiles. That's why we offer the best warranty in the industry - the lifetime of your house, or infinity, whichever comes first. Watch our hail test video to see how we take durability to a whole new level.

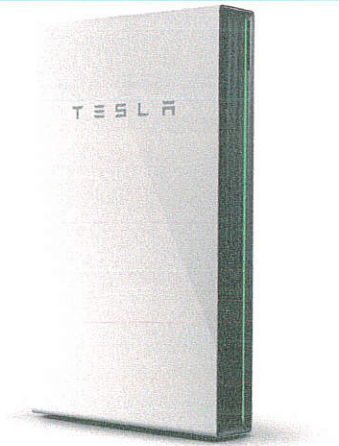
TESLA SOLAR GLASS

TRADITIONAL ROOF TILES

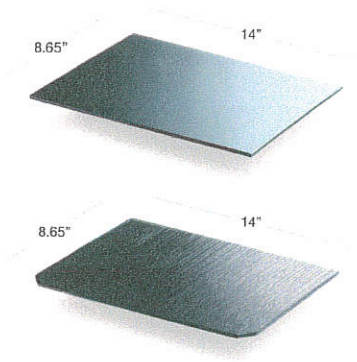
Test video for the highest (class 4) hail rating, filmed at 2,500 frames per second. Each 2" hailstone is travelling 100 mph on impact.

Off-Grid Reliability

Solar Roof integrates with the Powerwall home battery, allowing you to use solar energy whenever you choose and providing uninterrupted electricity during grid outages.



Warranty and Specs



Tile warranty
Infinity, or the lifetime of your house, whichever comes first

Power warranty
30 years

Weatherization warranty
30 years

Roof Pitch
3:12 to vertical

Hail rating
Class 4 FM 4473 (best hail rating)

Wind rating
Class F ASTM D3161 (best wind rating)

Fire rating
Class A UL 790 (best fire rating)

Glass Coating Standards
ASTM C1376
EN 1096 (best in class reliability)

Value of energy

The value of energy your Solar Roof is expected to produce over 30 years is based on the average price of electricity in your area, adjusted for inflation by 2% annually. Your ability to realize the full value depends on your home's electricity usage, amount of energy storage available, and utility regulations on solar in your area. Electricity price estimates are sourced from the [Energy Information Administration](#) and solar production estimates are based on irradiance data from NASA.

Cost of roof

The estimated cost of your Solar Roof includes materials, installation, and the removal of your old roof. Taxes, permit fees and additional construction costs such as significant structural upgrades, gutter replacement, or skylight replacements are not included. The Solar Roof cost is based on estimated roof square footage for your home, provided by Google Project Sunroof where available, and the portion of your roof covered with solar tiles.

Cost of Powerwall battery

The estimated cost of your Powerwall includes the battery, supporting hardware and installation cost. We recommend that every Solar Roof be installed with a Powerwall battery to enable you to use more of the solar power your roof produces and keep your home running during a grid outage. In states that do not have [Net Energy Metering](#) policies, we estimate and recommend a number of Powerwalls that will enable you to realize the full benefit of the energy your Solar Roof produces.

Tax credit

The [30% Solar Investment Tax Credit](#) applies to the cost of the solar tiles and associated solar energy equipment as well as the cost of the Powerwall batteries. To receive the full tax credit, you must have federal income tax liability that's at least equal to the value of the tax credit. This credit may be carried over to future tax years. Additional state, local or utility solar incentives may apply but are not included in this calculation.

Net earned over 30 years

The value of energy your Solar Roof produces may exceed the cost of the roof, earning you value over time.

Recommended solar tile coverage for your home

We recommend the portion of solar tiles for your roof that we estimate will produce enough electricity to cover your home energy usage. To customize your usage, enter your average monthly electric bill. If you choose to increase the portion of your roof covered with solar tiles, your home may generate more electricity than it needs. In this case, you may not realize the full value of energy your Solar Roof produces. Your entire roof is not eligible to be covered with solar tiles due to building regulations and obstructions. Recommended solar tile coverage is based on estimated eligible roof area for solar.

Warranty and specs

All warranties and ratings apply to the United States only. Similar warranties and ratings will be developed for other markets. Our tile warranty covers the glass in the tiles. The power warranty covers the output capability of the solar tiles. Weatherization means that there will be no water leaks or other weather intrusions during the warranty period that result from our installation.

Installation timing

Installations will start in June, beginning with California and rolling out to additional markets over time. When Solar Roof is rolled out in a particular market, Solar Roof customers will be installed based on when their order was placed. Installations performed by Tesla, Inc.'s wholly owned subsidiary SolarCity Corporation. CA CSLB 888104, MA HIC 168572/EL-1136MR. View our full list of contractor licenses [online](#).

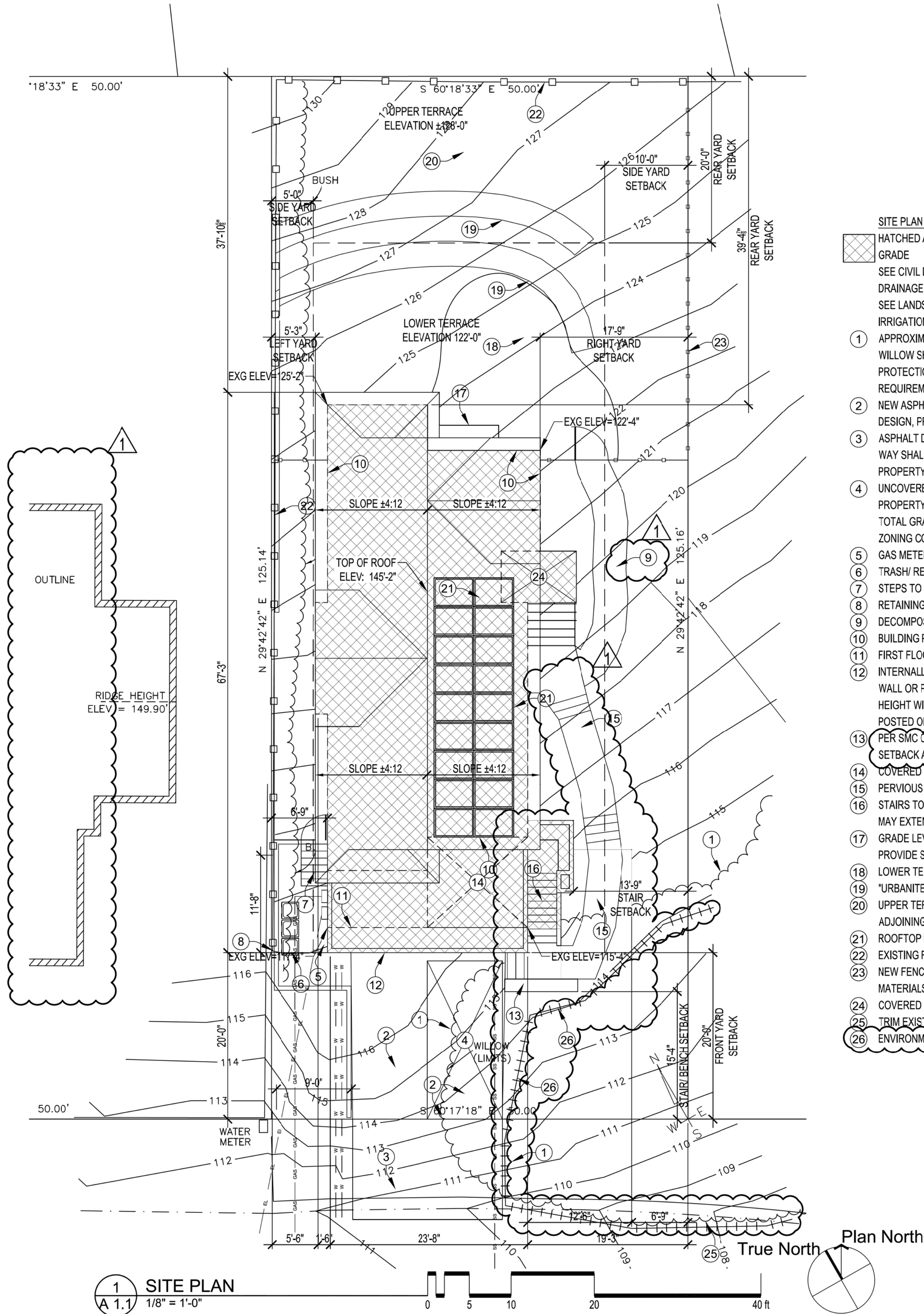
[ORDER](#)

[REQUEST A CALL](#)

Questions about ordering a Solar Roof? Find your answers [here](#).

GENERAL NOTES

- Scope: These notes apply to all drawings and govern unless noted or specified for more detailed requirements applicable to particular divisions of the work. See specifications and sheet notes contained in the subsections of these drawings.
- Applicable Codes: The intent of the drawings and specifications is to construct the building in the project scope in accordance with the 2016 California Building Code (CBC), Mechanical Code (CMC), Electrical Code (CEC), Plumbing Code (CPC); and Energy Code, and California Green Building Standards (CalGreen), all as amended by San Mateo County.
- Construction Documents: The General Conditions of the Contract for Construction, (AIA Document A201), latest edition, and the Specifications supplement these drawings and are part of the construction documents. By accepting and using the construction documents, including but not limited to the drawings and specifications, the Contractor agrees to be solely and completely responsible for the accuracy of said construction documents: architectural, structural, civil, mechanical, plumbing, electrical and fire protection.
- Copyright: These drawings and all ideas, arrangements and plans, either indicated or represented by these drawings are owned by, and are the property of VanMechelen Architects, and were created, evolved and developed for use on and in connection with the project designated in the title block. None of these designs, arrangements, or plans shall be used by, or disclosed to, any person, firm, or corporation for any purpose whatsoever, nor shall any changes be made on this drawing without the written permission from VanMechelen Architects. These drawings are not valid for any use unless they bear the original seal and signature of the Architect. Upon completion of the project, all plans shall be returned to the Architect.
- Document Coordination: The Contractor shall be responsible for coordination between architectural, structural, civil, mechanical, plumbing, and electrical drawings. This includes reviewing existing conditions and requirements of individual systems before ordering and installation of any work. Verify all architectural details and all finish conditions, whether depicted in drawings or not, with same disciplines.
- Dimensions: On drawings only written dimensions shall be used. Do not scale the drawings. The Contractor shall review and assume responsibility for all dimensions of building and site and notify the architect in writing of any suggested or required discrepancies before proceeding with construction.
- Site Conditions: The Contractor shall visit the site and be fully cognizant of all field conditions, delivery methods and storage facilities, and consult with potential suppliers and subcontractors prior to submitting bid or cost estimate. He or she shall verify all site conditions, delivery methods and storage facilities and assumes all risk associated with field conditions.
- Site Restrictions: The site will be used by the owners throughout the construction process. The contractor shall maintain safe access to the existing residence and existing accessory structure during the construction process.
- Project Conditions: The Contractor shall also notify the Architect, before proceeding with work, of any conditions which are different than those indicated on the Drawings.
- Job Site Conditions: The Contractor agrees to be solely and completely responsible for the job site conditions during the course of construction for the project; including the safety of all persons and property and that this requirement shall apply continuously and not be limited to normal working hours.
- Protection of Existing Facilities: Contractor shall protect all existing infrastructure, utilities, landscaping and other site elements. Contractor shall replace or compensate the Owner for damage to any elements.
- Indemnification: The Contractor shall defend, indemnify, and hold the Owner, the Architect, its employees and consultants, harmless from any and all liability, real or alleged, in connection with the performance of work on this Project, excepting for liability arising from the sole negligence of the Owner, the Architect, its employees and consultants.
- Errors, Omissions & Conflicts: Any errors, omissions, or conflicts found in the various parts of the construction documents or between the construction documents and existing site conditions shall be immediately brought to the attention of the Architect and the Owner before submitting cost estimates, bids or proceeding with the Work.
- Changes: Should any conditions develop which suggest or require changes to the work, including but not limited to errors, omissions, conflicts, alternates or code compliance, the Contractor shall submit to the Architect a written Request for Change Order detailing the required work and associated costs changes. A written Change Order shall be prepared by the Architect and signed by the Contractor before proceeding with the work. No claim shall be allowed for work already started or completed. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from examination of the site and the construction documents prior to submitting the bid. No claim shall be allowed for adjustments which could be reasonably expected based on the Contractor's general experience in this type of construction.
- A full sprinkler system shall be provided for this project, sprinkler heads locations are indicated on Sheet A-2.3 and A-2.4. The sprinkler system shall fully cover all interior space and the vented attic space. The system shall be per San Mateo County Building Standards and Coastside Fire District Ordinance 2013-03, and shall include an exterior bell and interior horn/ strobe hardwired into a separate circuit breaker.
- See Sheet A4.2 for additional CalGreen compliance notes.
- Utilities, including electrical service, shall be installed underground



SITE PLAN NOTES

- 1 HATCHED AREA INDICATES BUILDINGS AND DECKS THAT ARE MORE THAN 18" ABOVE GRADE
- 2 SEE CIVIL DRAWINGS FOR RETAINING WALLS, SITE CONTOURING AND SITE DRAINAGE INFORMATION
- 3 SEE LANDSCAPE DRAWINGS FOR PLANTING INFORMATION.
- 4 IRRIGATION SYSTEMS SHALL BE WEATHER OR SOIL-MOISTURE BASED.
- 5 APPROXIMATE LOCATION OF EXISTING TREES/ SHRUBS - REMOVE PORTION OF WILLOW SHRUBS AS REQUIRED FOR NEW DRIVEWAY AND WALK PATHS. PROVIDE PROTECTION IN ACCORDANCE WITH BIOLOGICAL REPORT AND SAN MATEO COUNTY REQUIREMENTS.
- 6 NEW ASPHALT OR PERMEABLE PAVER DRIVEWAY, SEE CIVIL DRAWINGS FOR DESIGN, PROFILE, AND MATERIALS.
- 7 ASPHALT DRIVEWAY IN PUBLIC RIGHT OF WAY. ANY WORK IN THE PUBLIC RIGHT OF WAY SHALL BE APPROVED UNDER SEPARATE PERMIT. DRIVEWAY ELEVATION AT PROPERTY LINE TO MATCH ROAD CENTERLINE. SEE CIVIL DRAWINGS
- 8 UNCOVERED PARKING SPACE. EXISTING GRADE ELEVATION AT MIDPOINT OF FRONT PROPERTY LINE = 113.1'. GRADE ELEVATION AT CENTER OF PROPERTY = 121.1'. TOTAL GRADE CHANGE = 8.0'. 8/62.5 = 1/7.8'. AVERAGE SLOPE IS >1.7, PER SMC ZONING CODE 6118 (b) PARKING IS PERMITTED IN THE FRONT YARD SETBACK.
- 9 GAS METER AND ELECTRIC METER WITH 200 AMP MAIN SERVICE PANEL ABOVE.
- 10 TRASH/ RECYCLING AREA
- 11 STEPS TO SIDE YARD, MAX 7.75" RISE, MIN. 10" TREAD
- 12 RETAINING WALL, SEE CIVIL DRAWINGS
- 13 DECOMPOSED GRANITE PATH
- 14 BUILDING PERIMETER
- 15 FIRST FLOOR BUILDING PERIMETER
- 16 INTERNALLY ILLUMINATED STREET ADDRESS NUMBER MOUNTED ON ROOF FASCIA, WALL OR POST MINIMUM 6'-0" ABOVE GRADE. NUMERALS SHALL BE MINIMUM 4" HEIGHT WITH MINIMUM 3/4" STROKE. PROVIDE TEMPORARY ADDRESS NUMBER POSTED ON THE SITE PRIOR TO COMBUSTIBLES BEING DELIVERED TO THE SITE.
- 17 PER SMC CODE SECTION 6406 (C), THE STAIR MAY INTRUDE INTO FRONT YARD SETBACK A MAXIMUM OF SIX (6) FEET.
- 18 COVERED DECK AT LEVEL 1.
- 19 PERVIOUS PAVER PATH.
- 20 STAIRS TO FIRST FLOOR ACCESSORY DWELLING UNIT. PER SMC CODE 6604 STAIRS MAY EXTEND UP TO 3'-0" INTO SIDE YARD SETBACK
- 21 GRADE LEVEL PATIO, ELEVATION ±122'-6". PATIO SHALL BE DECOMPOSED GRAVEL, PROVIDE SOLID SURFACE LANDING AT DOOR, MINIMUM 3'-0" DEEP.
- 22 LOWER TERRACE, ELEVATION ±122'-0"
- 23 "URBANITE" RETAINING WALL, ELEVATION VARIES, MAXIMUM HEIGHT 3'-0"
- 24 UPPER TERRACE, ELEVATION ±125'-0". TERRACE SHALL BE MAX 2'-6" ABOVE ADJOINING GRADE OR PROVIDE MIN 3'-6" GUARDRAIL.
- 25 ROOFTOP PHOTOVOLTAIC AND/ OR SOLAR HOT WATER PANELS
- 26 EXISTING FENCE, ±5'-0" TO 6'-0" HIGH
- 27 NEW FENCE, HEIGHT TO MATCH EXISTING REAR FENCE, ±6'-0". SEE L1 FOR MATERIALS
- 28 COVERED PORCH AT LEVEL 1.
- 29 TRIM EXISTING SHRUBS IN THE PUBLIC RIGHT OF WAY.
- 30 ENVIRONMENTALLY SENSITIVE AREA FENCING

SUMMARY OF WORK

The Project is for a Single Family Home with contained Accessory Dwelling Unit on an R-1 S-17 lot. The Main Unit has 1 Bedrooms, 1.5 Bathrooms, Living Room, Dining Area, and Kitchen Upstairs, and 1 Bedroom, 1 Bathroom, and a Den/ Guest Room in part of the lower floor. The Accessory Unit has 2 Bedrooms, 1 Bathroom, Living/ Dining Area, and Kitchen, all in the lower floor. There is an attached 2 car garage, partially buried underneath the house.

The dwelling units will be fabricated at a modular factory and delivered to the site. The garage level, exterior stairs, porches and decks will be built on site.

DRAWING INDEX

- ARCHITECTURAL DRAWINGS**
- A1.1 Location Map, Site Plan, Roof Plan, Project Description, Notes
 - A1.2 Conditions of Approval [NOT INCLUDED]
 - A1.3 Conditions of Approval [NOT INCLUDED]
 - A1.4 Survey
 - A2.1 Garage/ Basement Level Floor Plan, Reflected Ceiling Plan
 - A2.2 First Floor Level Plan, Reflected Ceiling Plan
 - A2.3 Second Floor Level Plan, Reflected Ceiling Plan
 - A2.4 Roof Level Plan
 - A3.1 Exterior Elevations
 - A3.2 Exterior Elevations
 - A3.3 Building Sections
 - L1.1 Landscape Plans
 - C-1 Grading and Drainage Plan
 - C-2 Erosion Control Plan

Project Location: Avenue Balboa, El Granada, CA 94018

Assessor's Parcel Number: 047-105-100

Zoning: R1 S-17

Allowable Coverage: 35%

Lot Area: 6250 sq ft

Building Area Garage Level: 635 square feet

Building Area First Floor: 1328 square feet

Building Area Second Floor: 1247 square feet

Section of Covered Porch above ADU Entry: 48 square feet

Section of Covered Porch above Main Entry: 54 square feet

Total Built Area: 3312 square feet

FAR: 3312/6250 = 52.99%

Total Coverage: 1675 square feet

Lot Coverage %: 1675/6250 = 27%

Front Setback: 20'-0" (to Deck Floor Deck, 23'-0" to wall)

Right Side Setback: 17'-9" (6'-9" at stair)

Left Side Setback: 5'-3"

Rear Setback: 38'-4"

Accessory Dwelling Unit Area: 700 square feet

Off Street Parking Provided: 2 garage spaces, 1 surface space

Building Occupancy: R 3 Single Family Residential

Construction Classification: Type V-b

Owner: Heather Peters and Michael Cassadine
460 Wavcrest Road
Half Moon Bay, CA 94019
650-802-5039
hpeters@smhousing.org

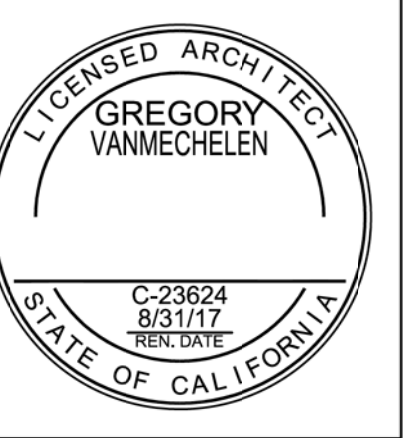


2 VICINITY MAP
NO SCALE

Project Team

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Planning/ Design Review

New Residence for:
Heather Peters and Michael Cassadine
LOT NO. 14 Block 77
APN 047-105-100
Avenue Balboa
El Granada, CA

SITE PLAN PROJECT INFO

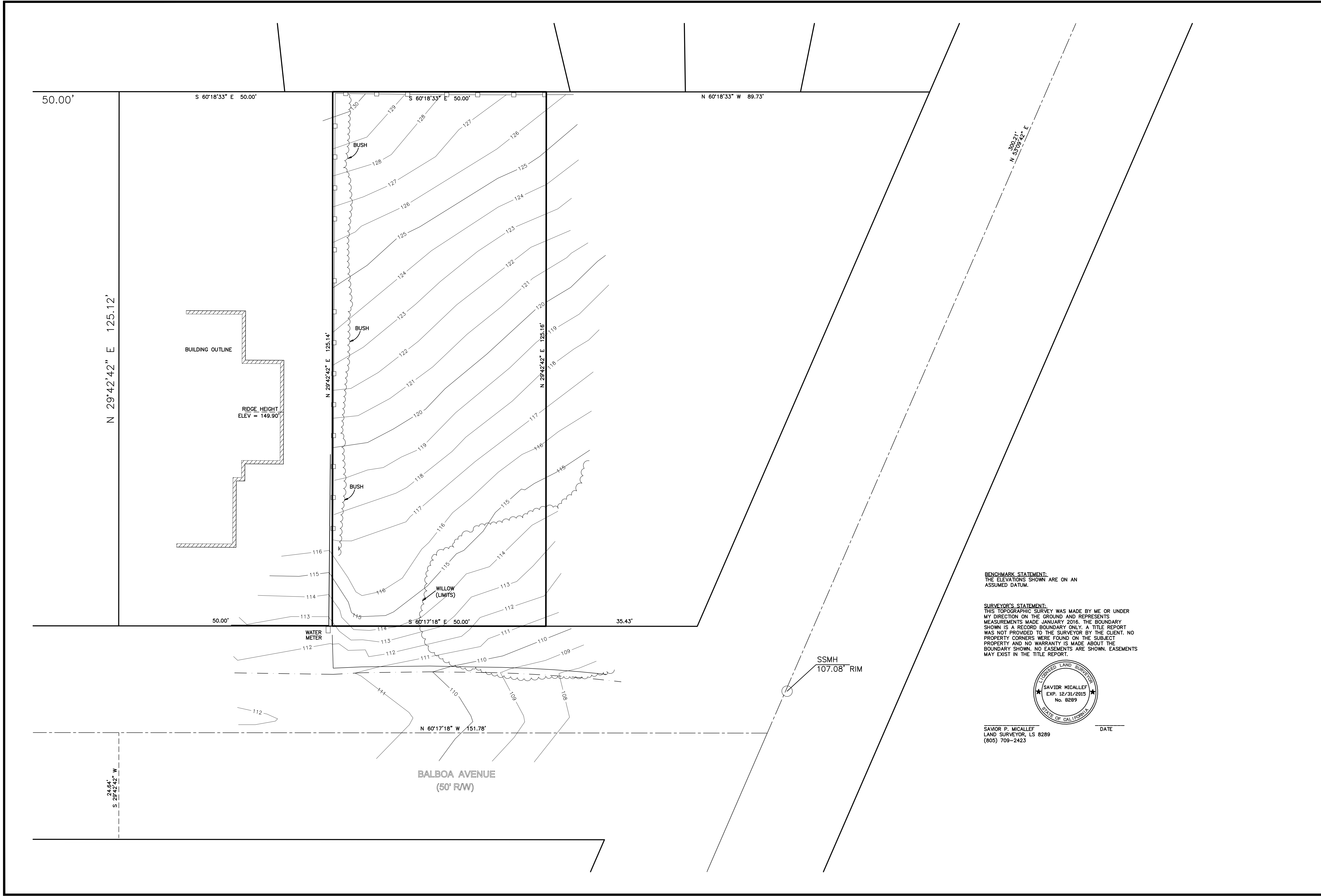
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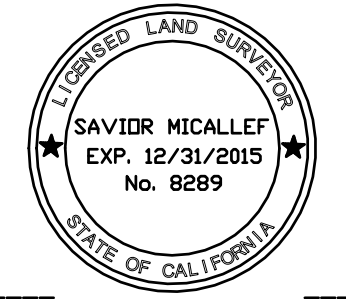
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1 of 12 Sheets
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BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JANUARY 2016. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY EXIST IN THE TITLE REPORT.



SAVOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

DATE

SAVOR P. MICALLEF LAND SURVEYING
421 WILDWOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

**TOPOGRAPHIC SURVEY OF LOT 14, BLOCK 77,
BOOK 6 MAPS, PAGE 50, APN 047-105-100**

UNINCORPORATED OF EL GRANADA SAN MATEO COUNTY CALIFORNIA

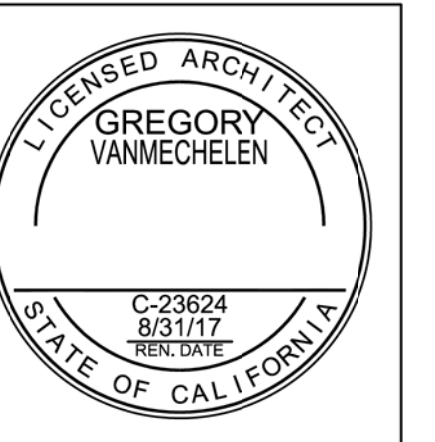
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Design	SPM			
Drawn	SPM			
Approved	SPM			
Job No.				

Drawing Number:

1 OF 1

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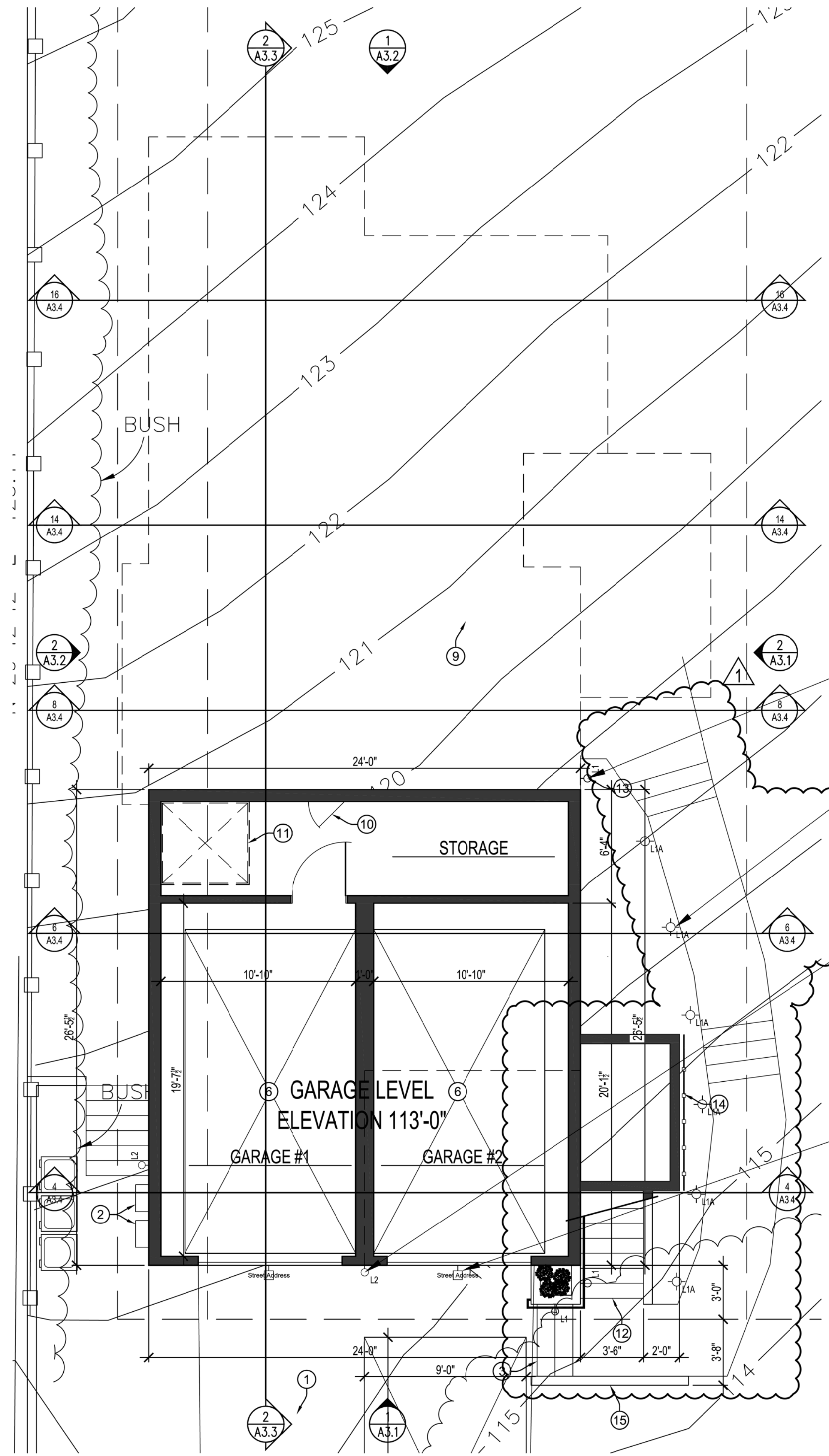
GARAGE LEVEL FLOOR PLAN

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Date: 14 February 2017
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- GARAGE LEVEL PLAN NOTES**
- SEE 2/A4.2 FOR WALL TYPES
 - ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
 - ① DRIVEWAY, SEE SITE PLAN
 - ② ELECTRIC AND GAS METERS
 - ③ EXTERIOR CONCRETE STEPS MAX 7.75" RISERS, MIN 12" TREAD. SEE NOTE 12.
 - ④ RETAINING WALL, SEE CIVIL DRAWINGS
 - ⑤ 4"x4" DOWNSPOUT, SEE CIVIL DRAWINGS FOR CONNECTION TO SUBSURFACE LINE
 - ⑥ PARKING SPACE, 9'-6" X 18'-0"
 - ⑦ PROVIDE MIN. 36" DEEP LANDING AT EXTERIOR DOORS, MAX 7.75" BELOW DOOR THRESHOLD, SLOPE MAX. 2% SLOPE.
 - ⑧ NOT USED
 - ⑨ CRAWL SPACE BELOW UPPER LEVEL
 - ⑩ CRAWL SPACE ACCESS HATCH, MIN. 16" X 24".
 - ⑪ FUTURE ELEVATOR TO SECOND FLOOR
 - ⑫ STAIRS TO FIRST FLOOR WITH MAX 7.75" RISERS, MIN. 10" TREAD. PROVIDE 1 1/2" Ø WOOD HANDRAIL MIN 1 SIDE, 34" ABOVE TREAD NOSINGS, 1 1/2" CLEAR FROM WALL, RETURN AT ENDS.
 - ⑬ LOW LEVEL PATH/ STEP LIGHTS. LIGHTS SHALL BE DARK SKY RATED WITH SHIELDING TO PREVENT LIGHT SPILLING ONTO ADJOINING PROPERTIES
 - ⑭ LATTICE WORK FOR HONEY SUCKLE
 - ⑮ LOW WALL, ±18" ABOVE GRADE
 - ⑯
 - ⑰
 - ⑱



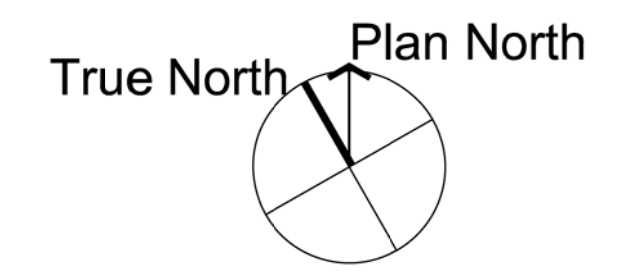
Light Fixture L1
 Solar Powered Step Light

Light Fixture L1A
 Path Light

Light Fixture L2 - Wall Sconce
 Hampton Bay # HB48017MP-237
 Oil Rubbed Bronze Outdoor Wall
 Lantern
 Dark Sky Compliant

Street Address Light

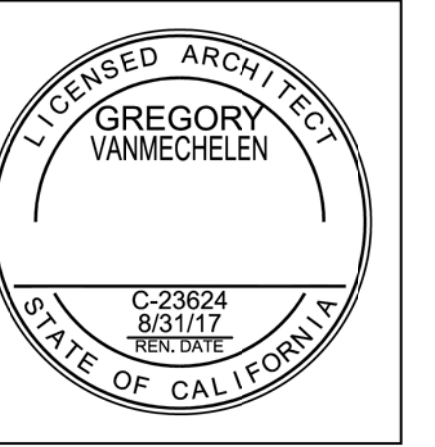
① LOWER FLOOR PLAN
 A2.1 1/4" = 1'-0"



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FIRST FLOOR PLAN

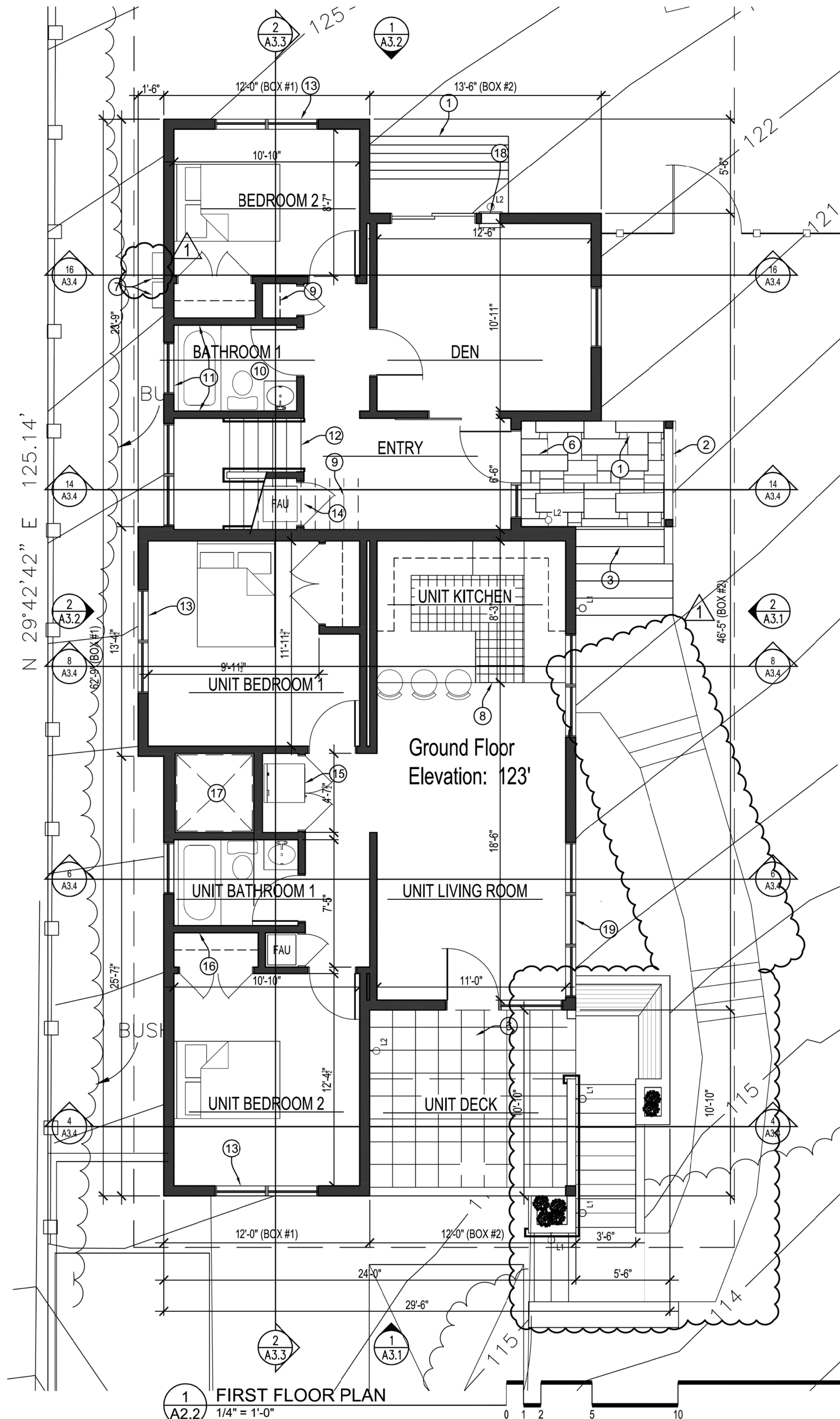
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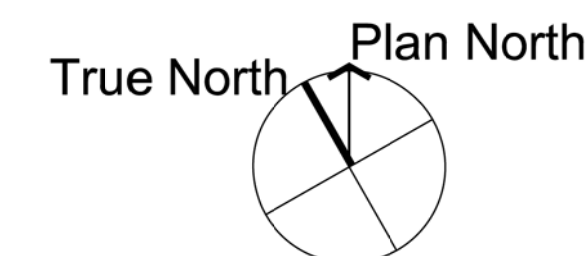
A2.2

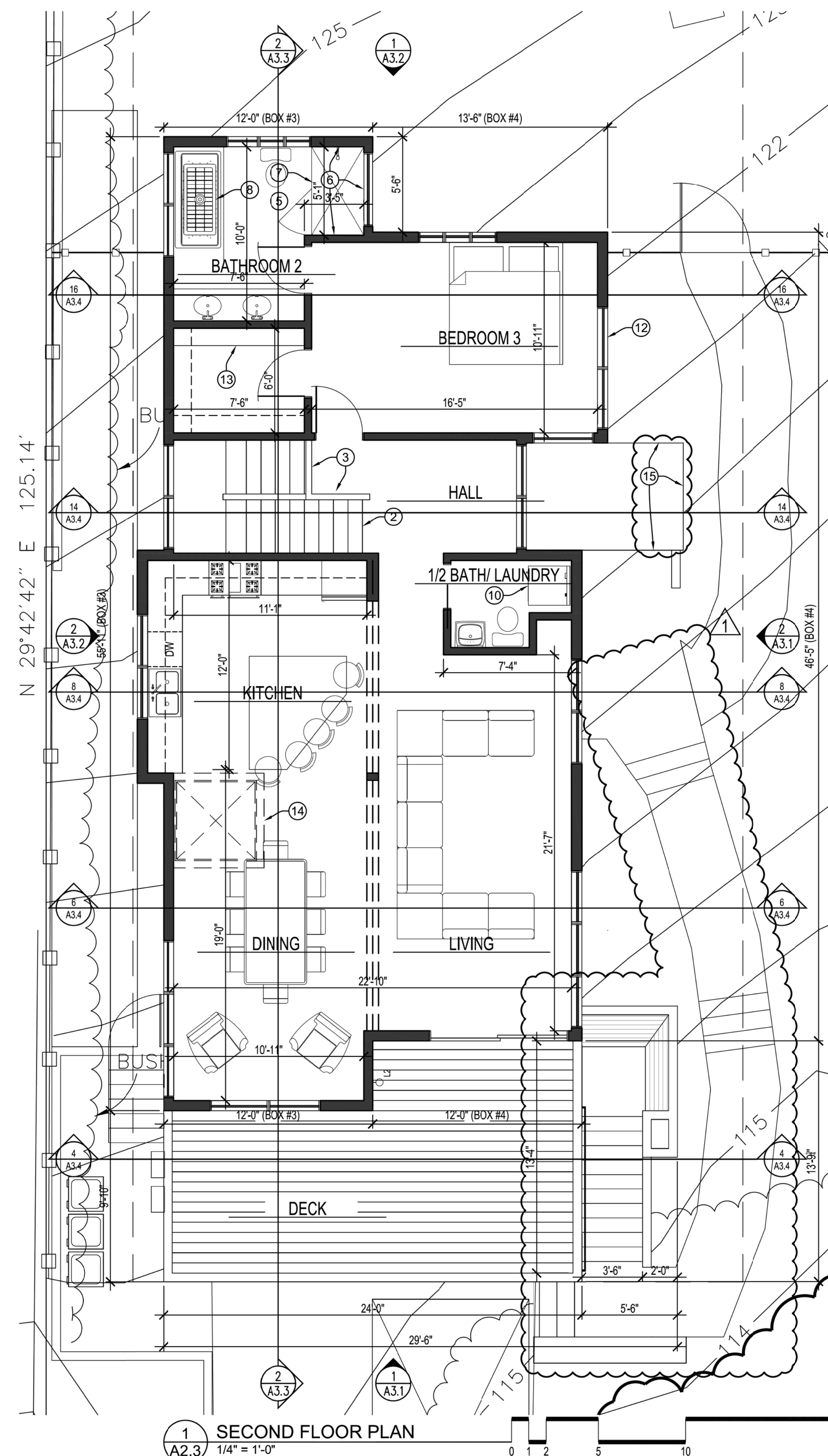
FIRST FLOOR PLAN NOTES

- SEE 2/A4.2 FOR WALL TYPES
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
- ① GRADE LEVEL PATIO, SEE SITE PLAN NOTE #17, SHEET A 1.1
- ② LOW WALL AND BENCH
- ③ EXTERIOR CONCRETE STEPS
- ④ NOT USED
- ⑤ NOT USED
- ⑥ PROVIDE MIN. 36" DEEP LANDING AT EXTERIOR DOORS, MAX 7.75" BELOW DOOR THRESHOLD, SLOPE MAX. 2% SLOPE.
- ⑦ ON DEMAND HOT WATER HEATER
- ⑧ JOINT BETWEEN WOOD AND TILE OR RESILIENT FLOORING
- ⑨ PROVIDE ADJUSTABLE SHELVES IN LINEN CLOSET
- ⑩ NEW PLUMBING FIXTURES SHALL HAVE THE FOLLOWING FLOW RATES:
 TOILETS: EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS
 SHOWERHEADS: MAX 2 GPM @ 80 PSI
 LAVATORY FAUCETS: MAX 1.5 GPM @ 60 PSI (0.8 GPM AT 20 PSI MIN)
 KITCHEN FAUCETS: MAX 1.8 GPM @ 60 PSI
 WRAP ALL EXPOSED HOT WATER PIPES WITH MIN. R-4 INSULATION
- ⑪ PROVIDE NONABSORBENT WALL SURFACE TO MIN. 6' ABOVE FLOOR AT TUB/ SHOWER
- ⑫ STAIRS WITH MAX 7.75" RISERS, MIN. 10" TREAD. PROVIDE 1 1/2" WOOD HANDRAIL MIN 1 SIDE, 34" ABOVE TREAD NOSINGS, 1 1/2" CLEAR FROM WALL, RETURN AT ENDS.
- ⑬ PROVIDE EGRESS/ RESCUE WINDOW AT BEDROOMS. SEE DOOR AND WINDOW SCHEDULE FOR SPECIFIC DIMENSIONS AND REQUIREMENTS.
- ⑭ PROVIDE MIN. 1/2" GYP BOARD AT WALLS AND CEILINGS OF ALL ACCESSIBLE SPACES UNDER STAIRS.
- ⑮ LAUNDRY
- ⑯ LAUNDRY HOOK-UPS
- ⑰ FUTURE ELEVATOR TO THE SECOND FLOOR
- ⑱ DOG DOOR WITH ELECTRONIC OPERATOR, MODEL PX-2 POWER PET FULLY AUTOMATIC PET DOOR BY HIGH TECH PET, OR EQUAL.
- ⑲ LATTICE WORK FOR HONEY SUCKLE



1 FIRST FLOOR PLAN
 A2.2 1/4" = 1'-0"



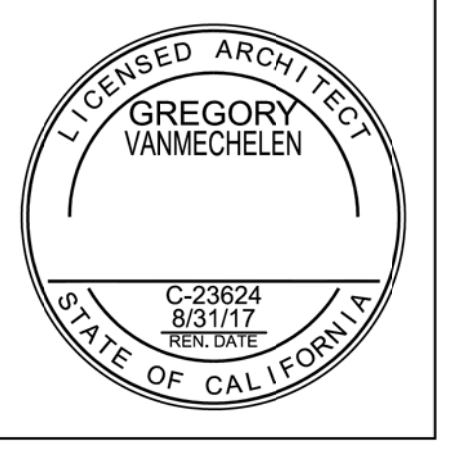


- SECOND FLOOR PLAN NOTES**
- ① SEE 7/A-6 FOR WALL TYPES
 - ② ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED.
 - ③ NOT USED
 - ④ STAIRS WITH MAX 7.75" RISERS, MIN. 10" TREAD. PROVIDE 1 1/2" Ø WOOD HANDRAIL MIN 1 SIDE, 34" ABOVE TREAD NOSINGS, 1 1/2" CLEAR FROM WALL, RETURN AT ENDS. SEE STRUCTURAL DRAWINGS FOR STAIR DETAILS.
 - ⑤ PARTIAL HEIGHT WALL, MIN. 3'-6" HIGH.
 - ⑥ JOINT BETWEEN WOOD AND TILE OR RESILIENT FLOORING
 - ⑦ NEW PLUMBING FIXTURES SHALL HAVE THE FOLLOWING FLOW RATES:
TOILETS: EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS
SHOWERHEADS: MAX 2 GPM @ 80 PSI
LAVATORY FAUCETS: MAX 1.5 GPM @ 60 PSI (0.8 GPM AT 20 PSI MIN)
KITCHEN FAUCETS: MAX 1.8 GPM @ 60 PSI
WRAP ALL EXPOSED HOT WATER PIPES WITH MIN. R-4 INSULATION
 - ⑧ PROVIDE NONABSORBENT WALL SURFACE TO MIN. 6" ABOVE FLOOR AT TUB/SHOWER.
 - ⑨ WHEELCHAIR ACCESSIBLE ROLL-IN SHOWER WITH A MIN. 1024 SQ IN OF INTERIOR AREA, AND PROVIDE SPACE FOR A MIN. 30" Ø CIRCLE. GLASS IN SHOWER ENCLOSURES SHALL BE APPROVED SAFETY GLASS, AND SHOWER DOORS SHALL BE MIN. 24" CLEAR WIDTH AND SHALL OPEN OUTWARD FROM THE SHOWER COMPARTMENT.
 - ⑩ ROMAN TUB
 - ⑪ PROVIDE MIN. (2) 20 AMP CIRCUITS TO COUNTERTOP OUTLETS FOR SMALL APPLIANCES, AND PROVIDE SEPARATE CIRCUIT FOR REFRIGERATOR OUTLET.
 - ⑫ STACK WASHER/ DRYER, PROVIDE GAS LINE WITH SHUT-OFF VALVE. VENT DRYER TO THE SOUTH WALL. PROVIDE 30 AMP CIRCUIT TO LAUNDRY
 - ⑬ NOT USED
 - ⑭ PROVIDE EGRESS/ RESCUE WINDOW AT BEDROOMS. SEE DOOR AND WINDOW SCHEDULE SHEET FOR SPECIFIC DIMENSIONS AND REQUIREMENTS.
 - ⑮ BUILT-IN SHELVING/ CABINET SYSTEM.
 - ⑯ FUTURE ELEVATOR
 - ⑰ CANOPY OVER ENTRY

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 APN 047-105-100
 Avenue Balboa
 El Granada, CA

SECOND FLOOR PLAN

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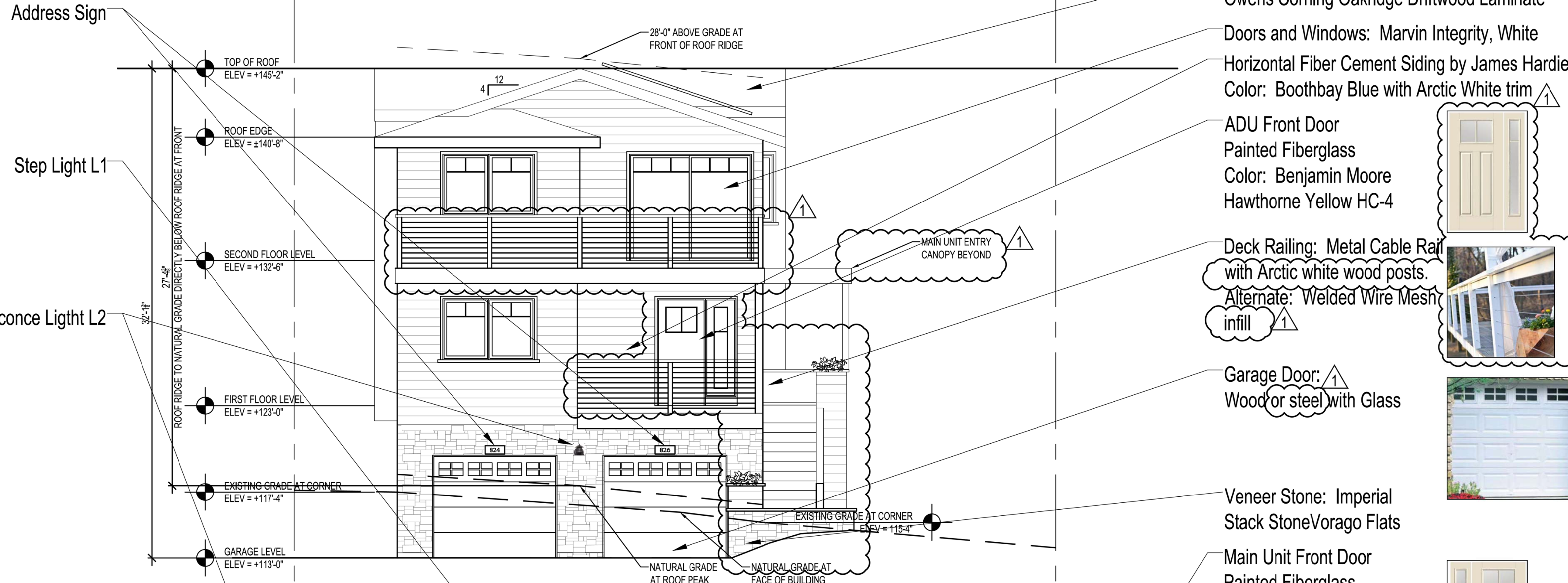
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Address Sign

Step Light L1

Sconce Light L2



1 SOUTH ELEVATION
A 3.1 1/4" = 1'-0"

Roofing: Asphalt Shingle
Owens Corning Oakridge Driftwood Laminate

Doors and Windows: Marvin Integrity, White

Horizontal Fiber Cement Siding by James Hardie
Color: Boothbay Blue with Arctic White trim

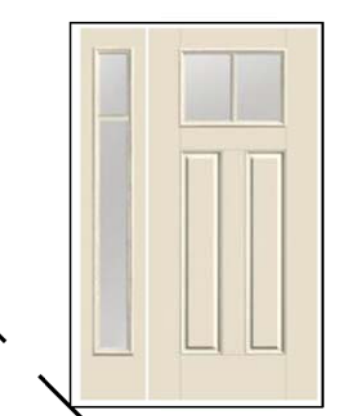
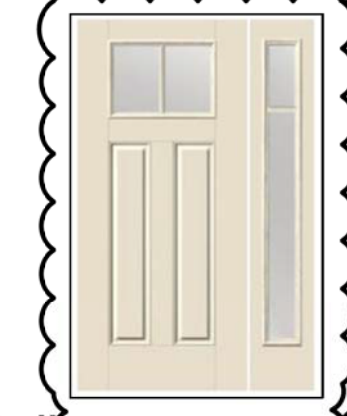
ADU Front Door
Painted Fiberglass
Color: Benjamin Moore
Hawthorne Yellow HC-4

Deck Railing: Metal Cable Rail
with Arctic white wood posts.
Alternate: Welded Wire Mesh
infill

Garage Door:
Wood or steel with Glass

Veneer Stone: Imperial
Stack StoneVrago Flats

Main Unit Front Door
Painted Fiberglass
Color: Benjamin Moore
China Blue 2052-60

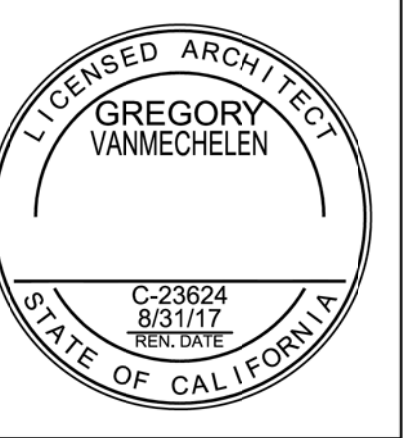


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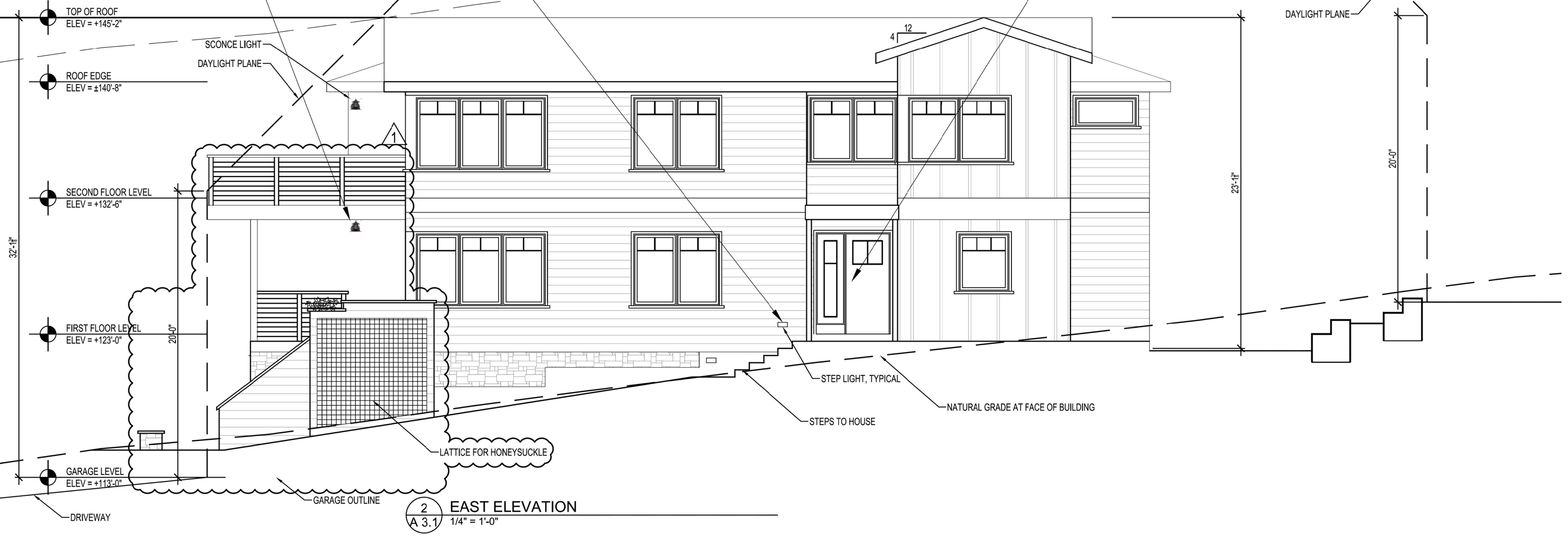
New Residence for:
Heather Peters and Michael Cassadine
LOT NO. 14 Block 77
APN 047-105-100
Avenue Balboa
El Granada, CA

EXTERIOR ELEVATIONS

Revision	
△	DRC Revision .18 May '17
△	.
△	.
△	.
△	.
△	.

Date: 14 February 2017
Drawn:
Scale:

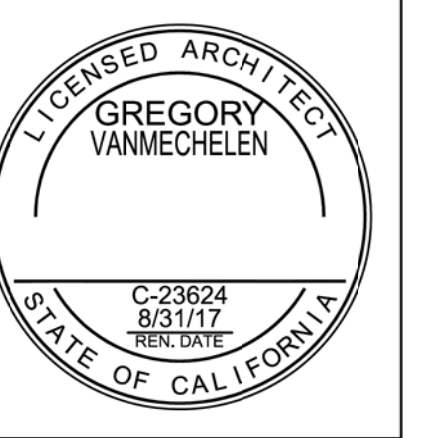
A 3.1



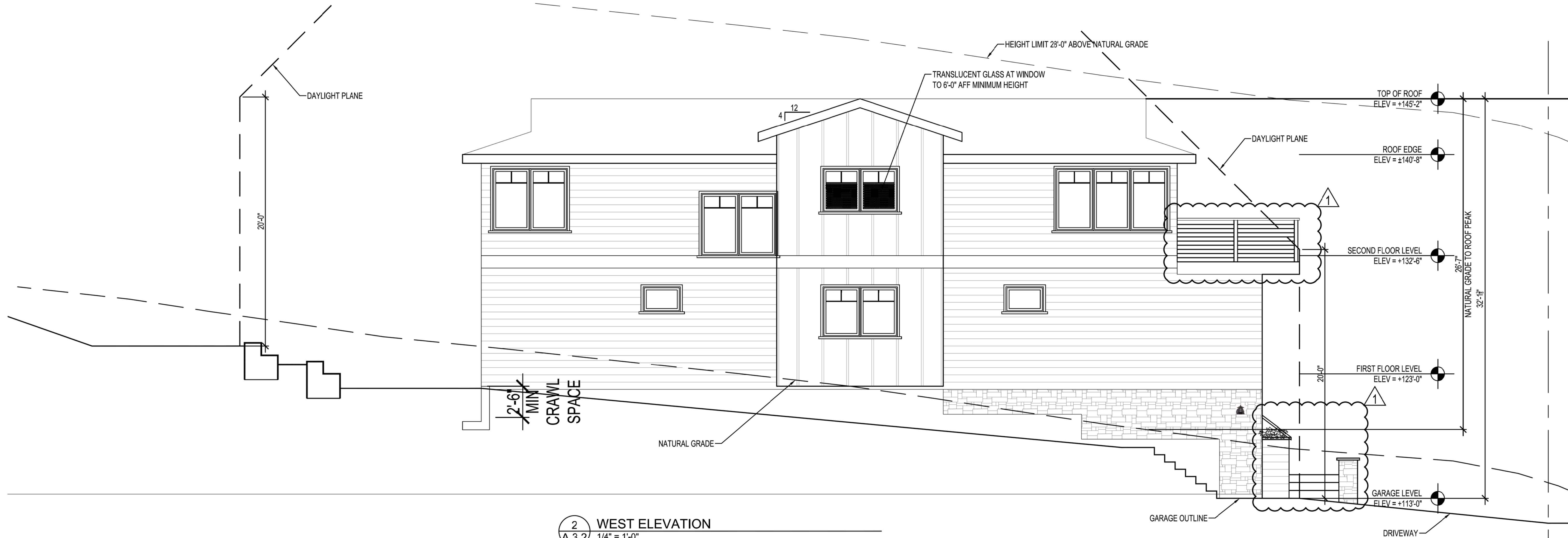
2 EAST ELEVATION
A 3.1 1/4" = 1'-0"

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Civil Engineer
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 Tel: 650.728.3590
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 sigmaprm@pacbell.net



1 NORTH ELEVATION
 A 3.2 1/4" = 1'-0"



2 WEST ELEVATION
 A 3.2 1/4" = 1'-0"

Planning/ Design Review

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EXTERIOR ELEVATIONS

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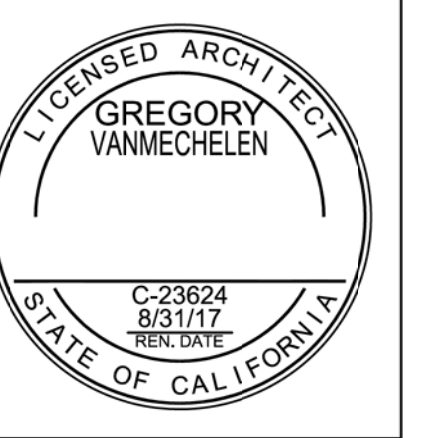
Date: 14 February 2017
 Drawn:
 Scale:

A 3.2

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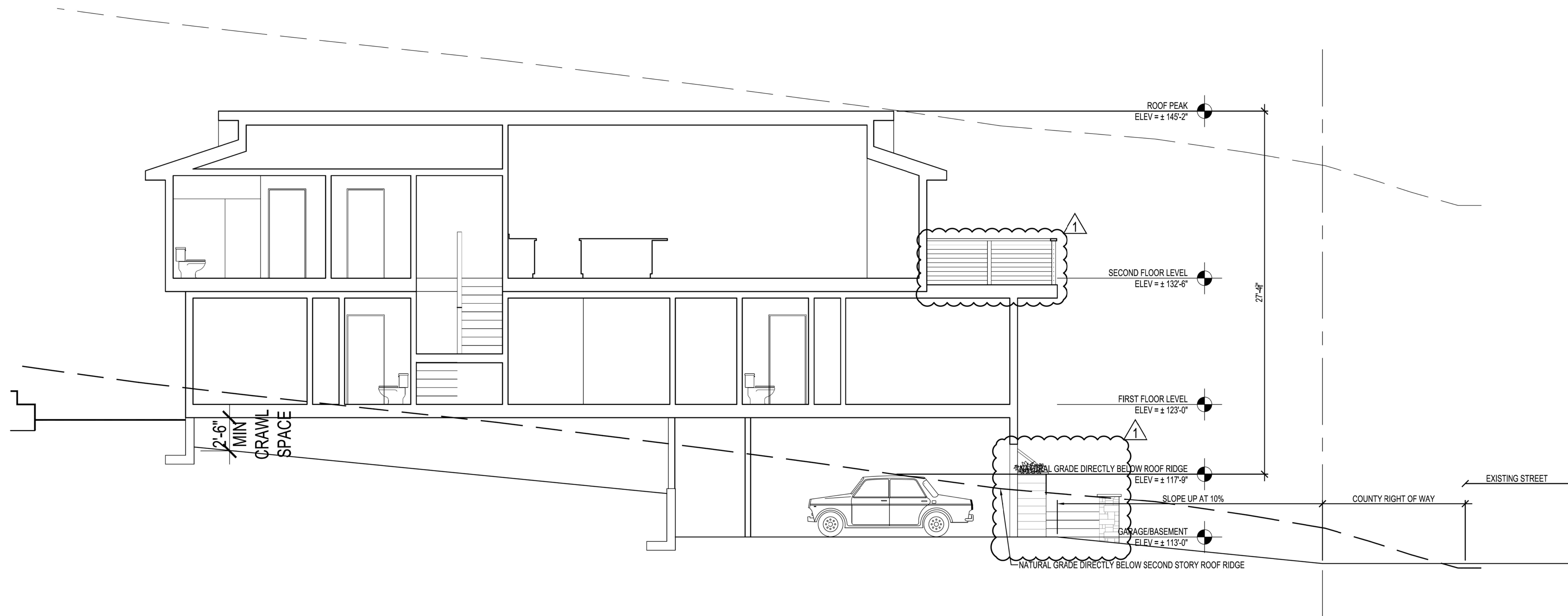
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Planning/ Design Review

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BUILDING SECTIONS



1 LONGITUDINAL SECTION
 A 3.3 1/4" = 1'-0"

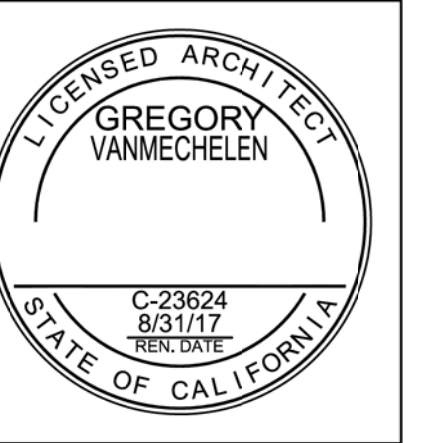
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 Scale:

A 3.3

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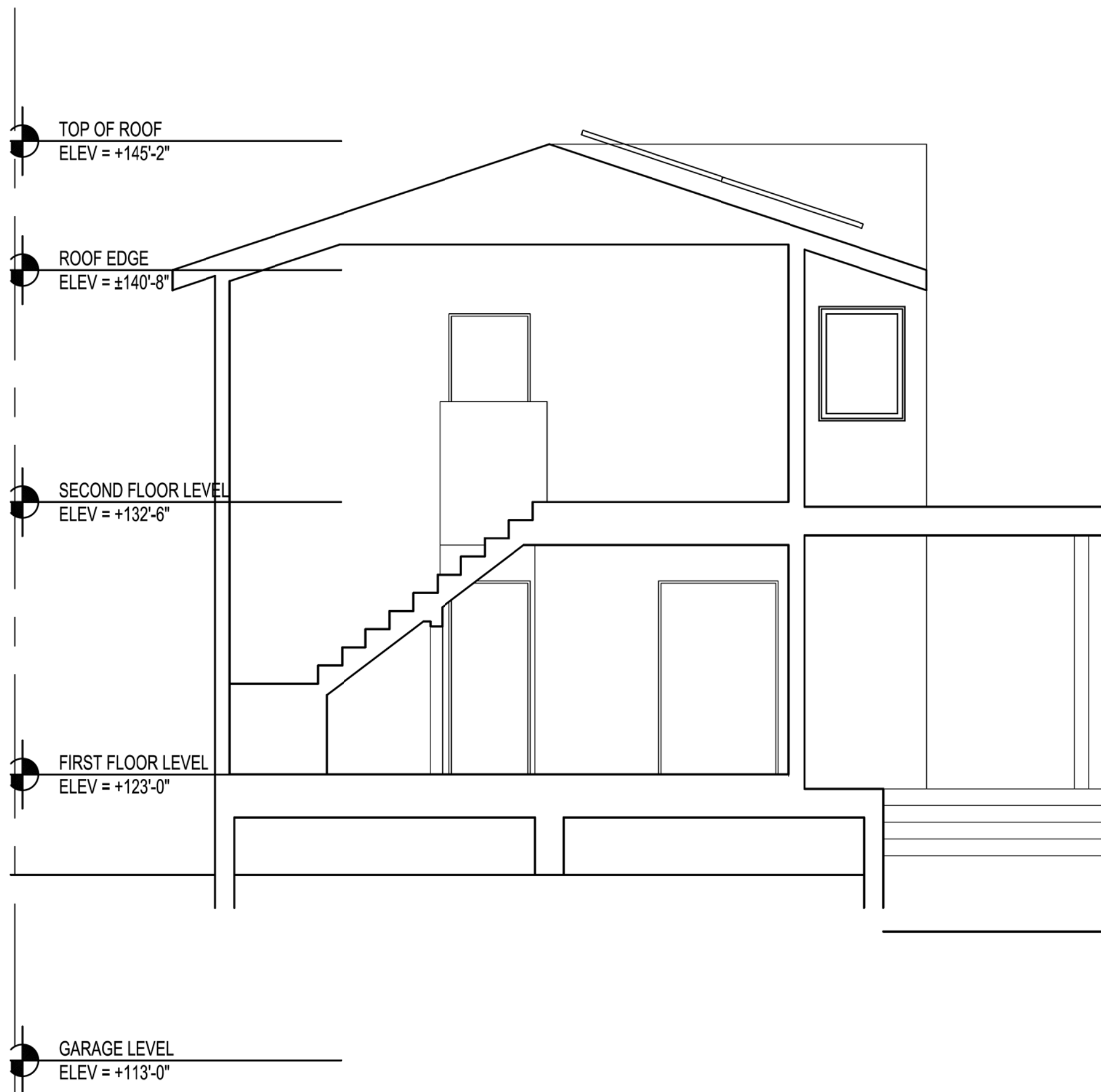
Planning/ Design Review
 New Residence for:
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 El Granada, CA

BUILDING SECTIONS

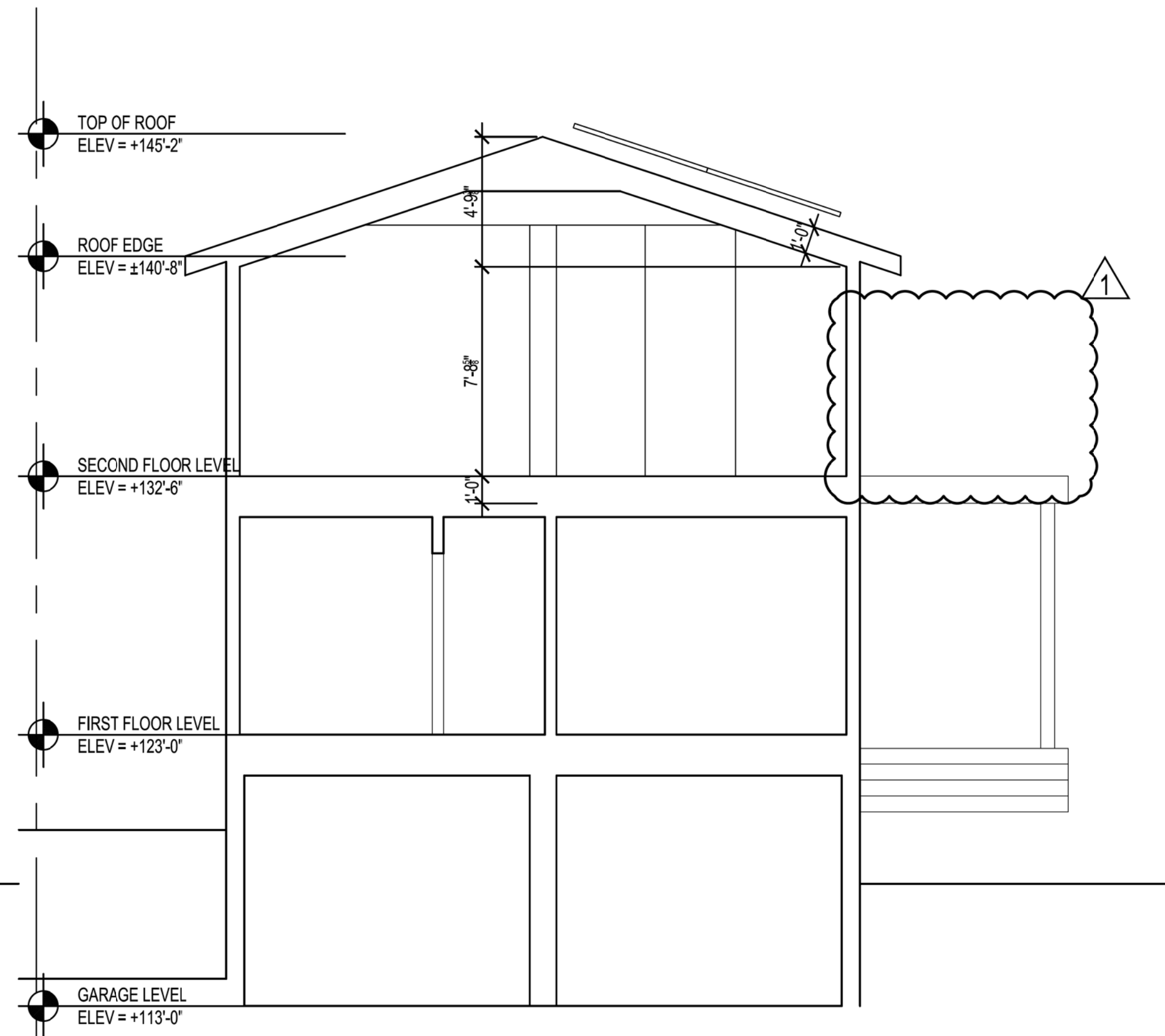
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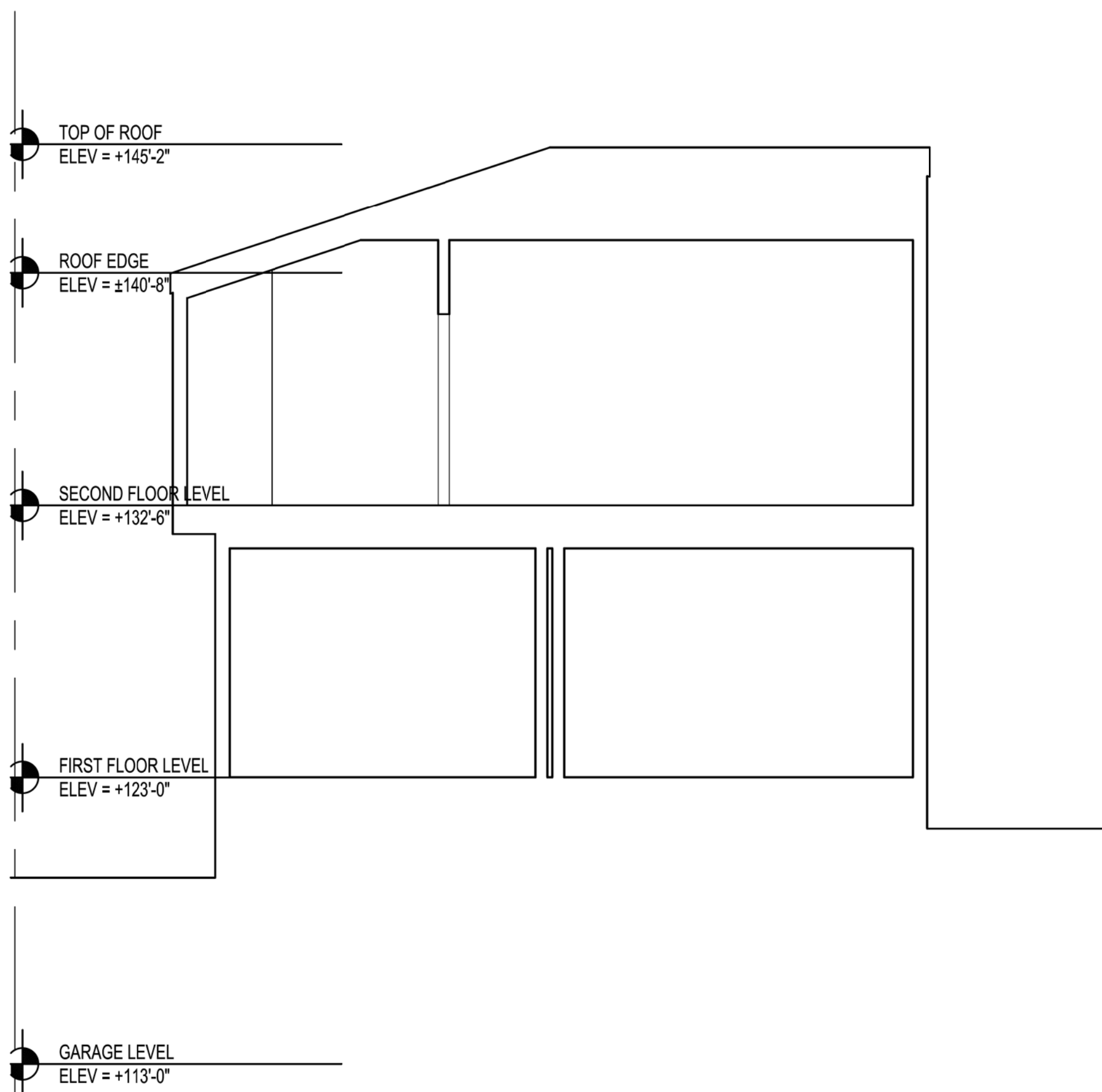
A 3.4



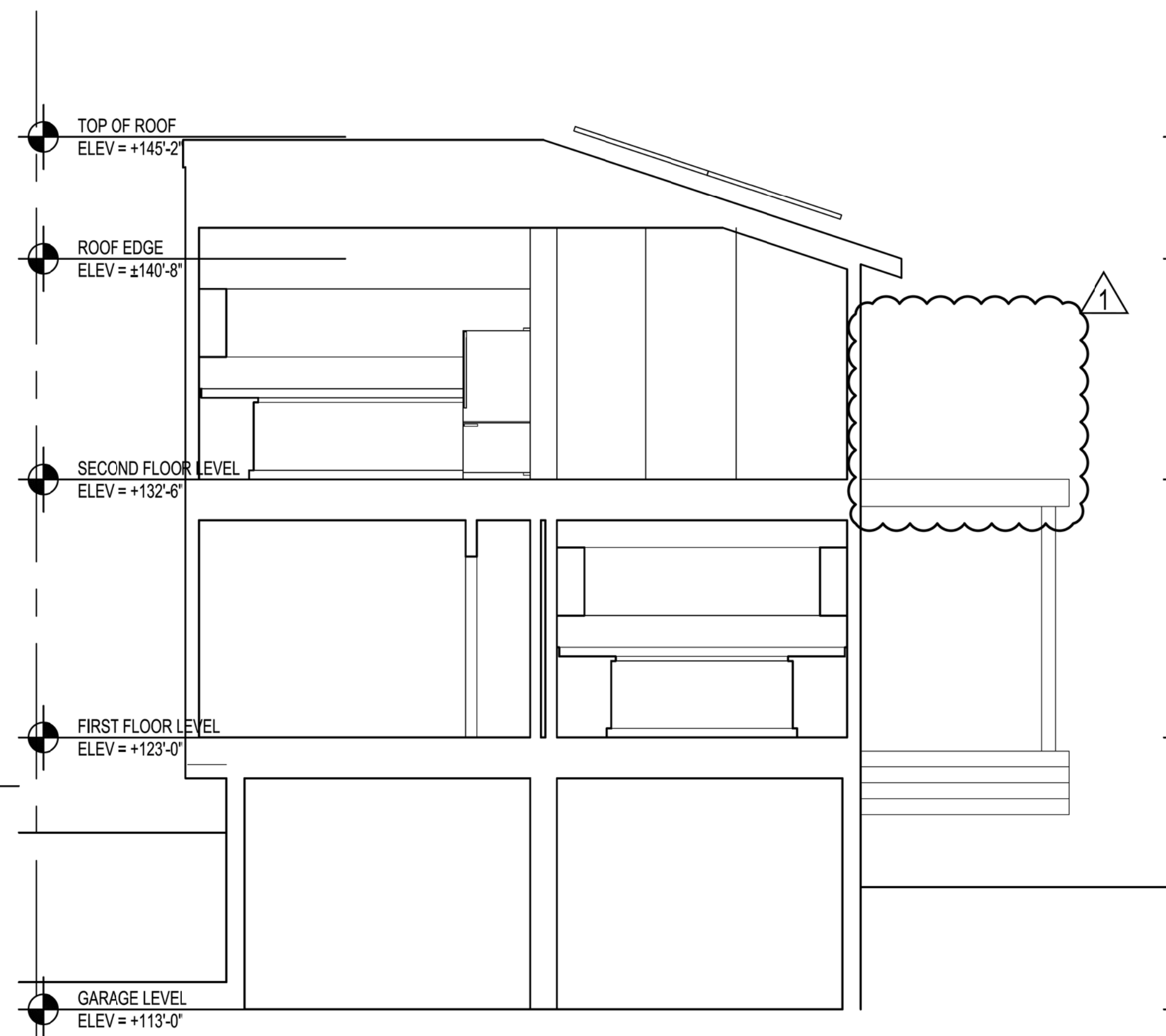
14 CROSS SECTION AT STAIRS
 A 3.4 1/4" = 1'-0"



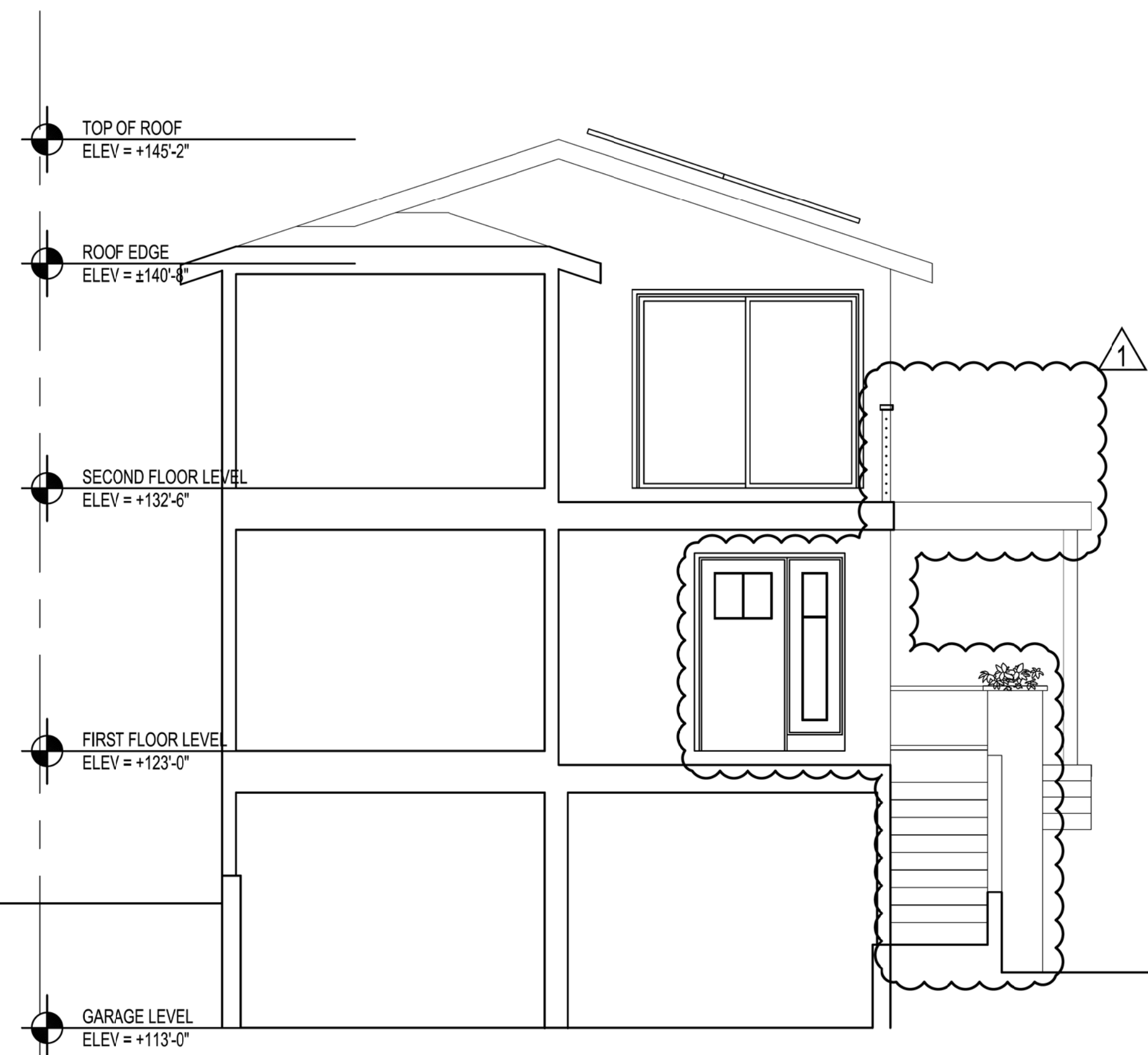
6 CROSS SECTION AT LIVING ROOMS
 A 3.4 1/4" = 1'-0"



16 CROSS SECTION AT REAR BEDROOMS
 A 3.4 1/4" = 1'-0"



8 CROSS SECTION AT KITCHENS
 A 3.4 1/4" = 1'-0"



4 CROSS SECTION AT FRONT DECK
 A 3.4 1/4" = 1'-0"



Cleveland Sage
salvia clevelandii
1 gallon



Small Leaf Mountain Lilac
ceanothus 'julia phelps'
5 gallon



Urbanite Wall
morum urbana
± 50# blocks



Douglas Iris
iris douglasiana
1 gallon



California Poppy
eschscholzia californica
1 gallon



Gravel Path

Fence facing Side Yard



Fence facing Front Yard

Coyote Mint
monardella villosa
1 gallon



Deer Grass
muhlenbergia rigens
1 gallon



California Meadow Sedge
carex pansa
2" plugs

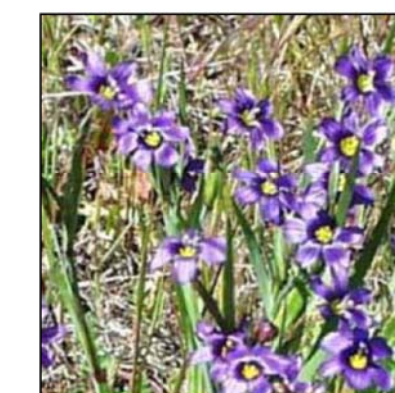


Grass planting shall conform with San Mateo County water usage requirements

Decomposed Granite Patio



Blue Eyed Grass
sisyrinchium bellium
1 gallon



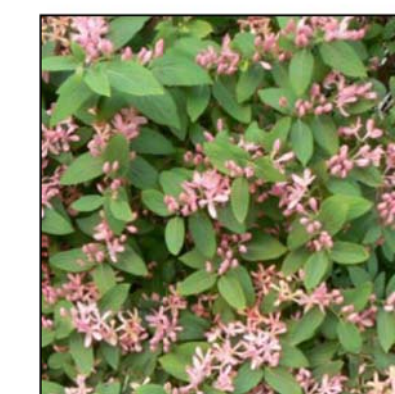
Mission Mallow
lavatera assurgentiflora
5 gallon



Blue Mountain Lilac
ceanothus thyrsoiflorus 'skylark'
5 gallon



Hairy Honey Suckle
lonicera hispidula
1 gallon, lattice mounted to wall



Cleveland Sage
salvia clevelandii
1 gallon

Deer Grass
muhlenbergia rigens
1 gallon

Coyote Mint
monardella villosa
1 gallon

Vegetation Type	Botanical Name	Common Name	WUCOLS factor	Total Area (for grasses only)	Vegetation Symbols Key
P, N	Carex pansa	sand dune sedge	Moderate/Medium	562 sf (24.7% of total landscape)	Ba bamboo
S, N	Ceanothus "Julia Phelps"	Julia Phelps ceanothus	Low		Bu bulb
S, N	Ceanothus thyrsoiflorus "Skylark"	Skylark ceanothus	Low		G grass
P, N	Eschscholzia californica	California poppy	Very Low		GC groundcover
P, N	Iris douglasiana	Douglas iris	Low		S shrub
V, N	Lonicera hispidula	California honeysuckle	Low		T tree
S, N	Malva assurgentiflora and cvs. (Lavatera assurgentiflora)	tree mallow	Low		V vine
P, N	Monardella villosa	Coyote mint	Very Low		N California native
G, N	Muhlenbergia rigens	deer grass	Low		
S, N	Salvia clevelandii & hybrids	salvia Cleveland/Alan Chickering etc.	Low		
P, N	Sisyrinchium bellium and cvs.	blue-eyed grass	Very Low		

1 LANDSCAPE PLAN
L 1 1/8" = 1'-0"



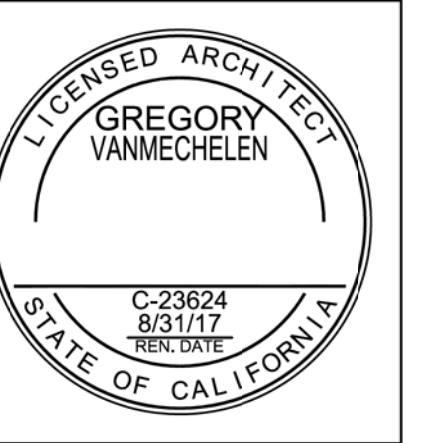
- LANDSCAPE PLAN NOTES**
- LANDSCAPE PLANTED AREAS SHALL INCORPORATE COMPOST, MIN. 4 CUBIC YARDS PER 1000 SF TO A DEPTH OF 6".
 - PROVIDE 3" LAYER OF MULCH TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF OR CREEPING/ ROOTING GROUNDCOVERS.
 - IRRIGATION CONTROLLERS SHALL USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR. PROGRAMMING DATA SHALL NOT BE LOST DUE TO A POWER INTERRUPTION. AREAS LESS THAN 10'-0" IN ANY DIRECTION SHALL USE SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.

Project Team

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Planning/ Design Review

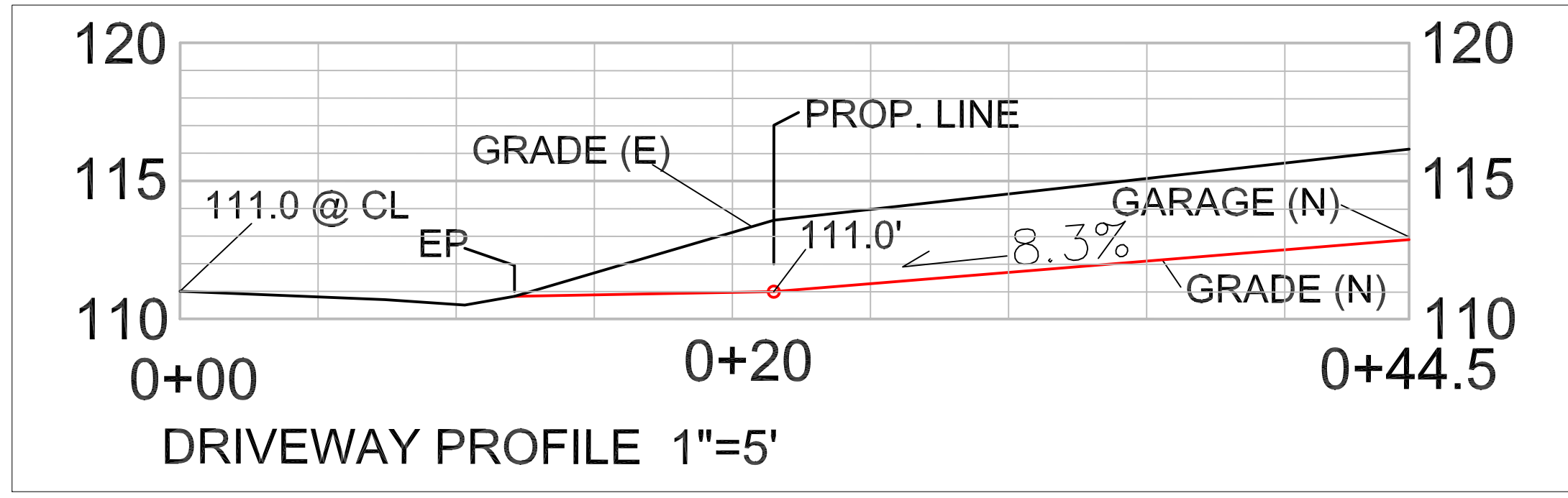
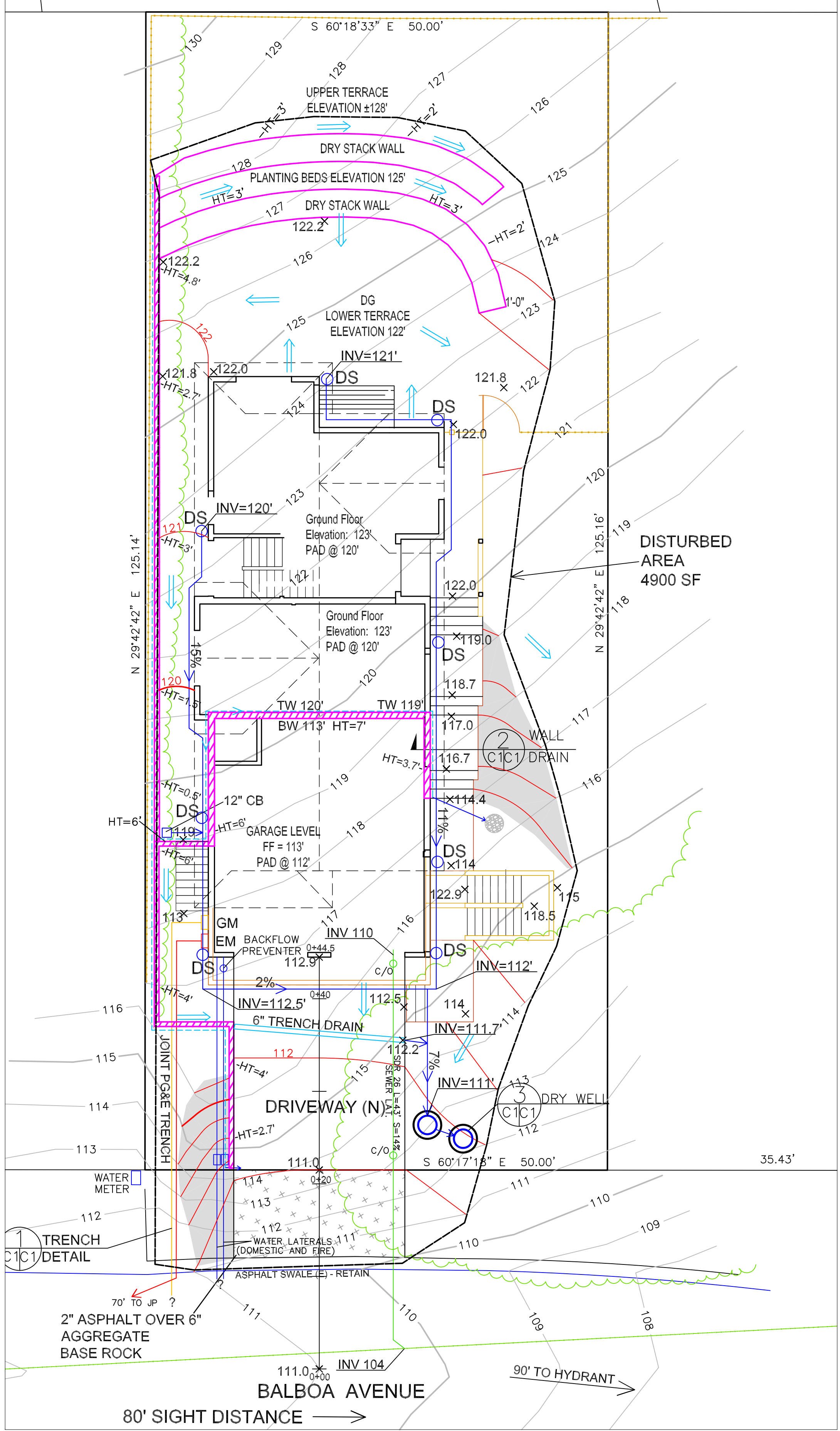
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LANDSCAPE PLAN
PLANT LISTINGS

Revision	Date
① DRC Revision	.18 May '17
②	.
③	.
④	.
⑤	.
⑥	.

Date: 14 February 2017
Drawn:
Scale:

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LEGEND

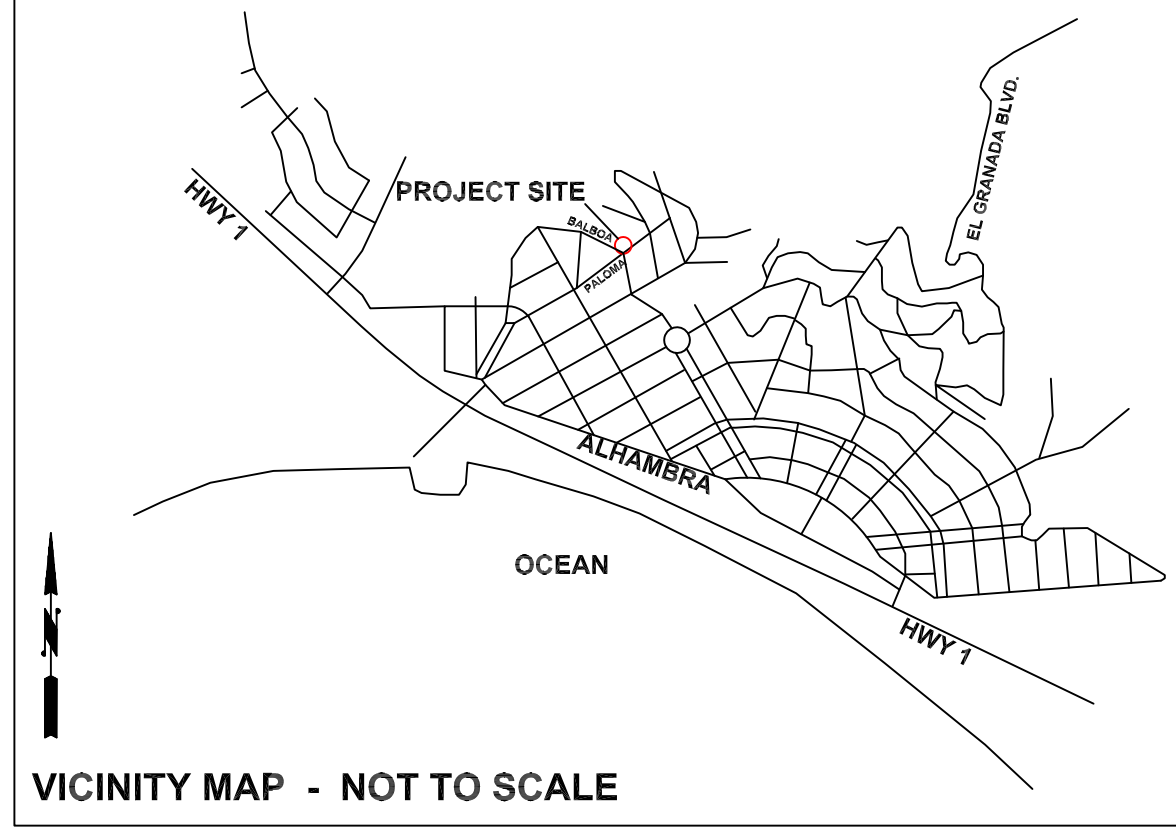
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- ENERGY DISSIPATER: 2-FT DIAMETER, 4-INCHES DEEP, FILLED WITH 2-4 INCH COBBLES
- PROPOSED RETAINING WALL
- PROPOSED SLOPES >15%

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: HEATHER PETERS, OWNER
2. SURVEY AND TOPOGRAPHY BY S. MICALLEF, SURVEYED ON JANUARY 20, 2016.
3. ELEVATION DATUM ASSUMED.
4. THIS IS NOT A BOUNDARY SURVEY.

GRADING NOTES

- CUT VOLUME: 560 CY
FILL VOLUME: 0 CY
1. ABOVE VOLUMES ARE APPROXIMATE.
 2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
 3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



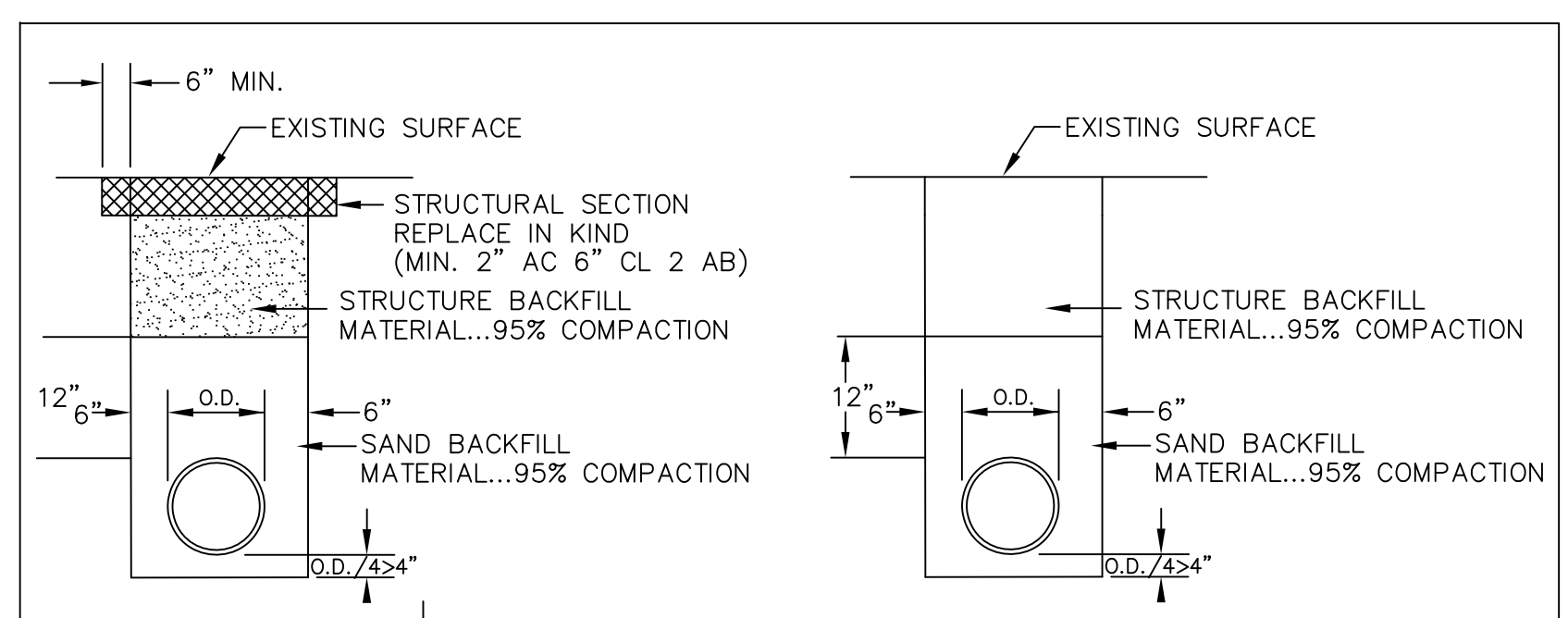
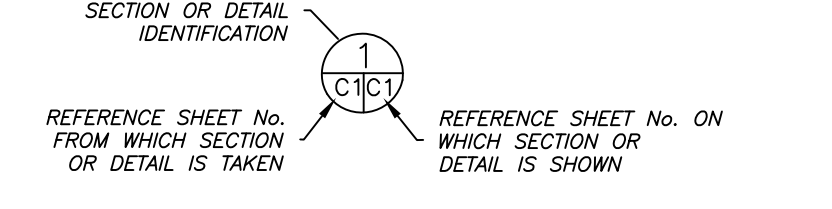
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELLS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAIN PIPES AND DRY WELLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.
5. SOIL BORINGS REVEALED A SILTY SAND AT A DEPTH OF 4 TO 4.5 FEET. ESTIMATED PERCOLATION RATE IS 2 TO 3 IN/HR.
6. DRAINAGE PIPES SHALL INCLUDE A CLEANOUT AT ALL 90-DEGREE BENDS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG BALBOA AVENUE.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
3. IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.

SECTION AND DETAIL CONVENTION

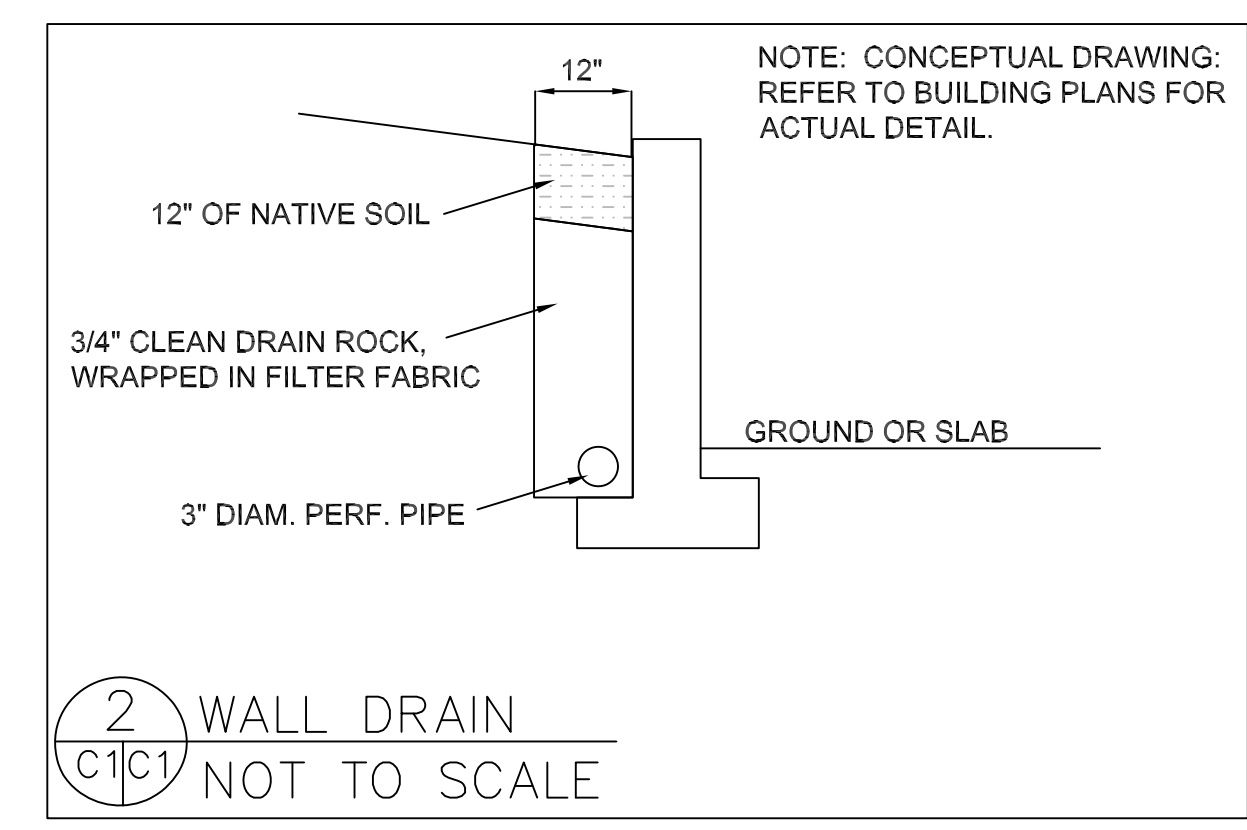
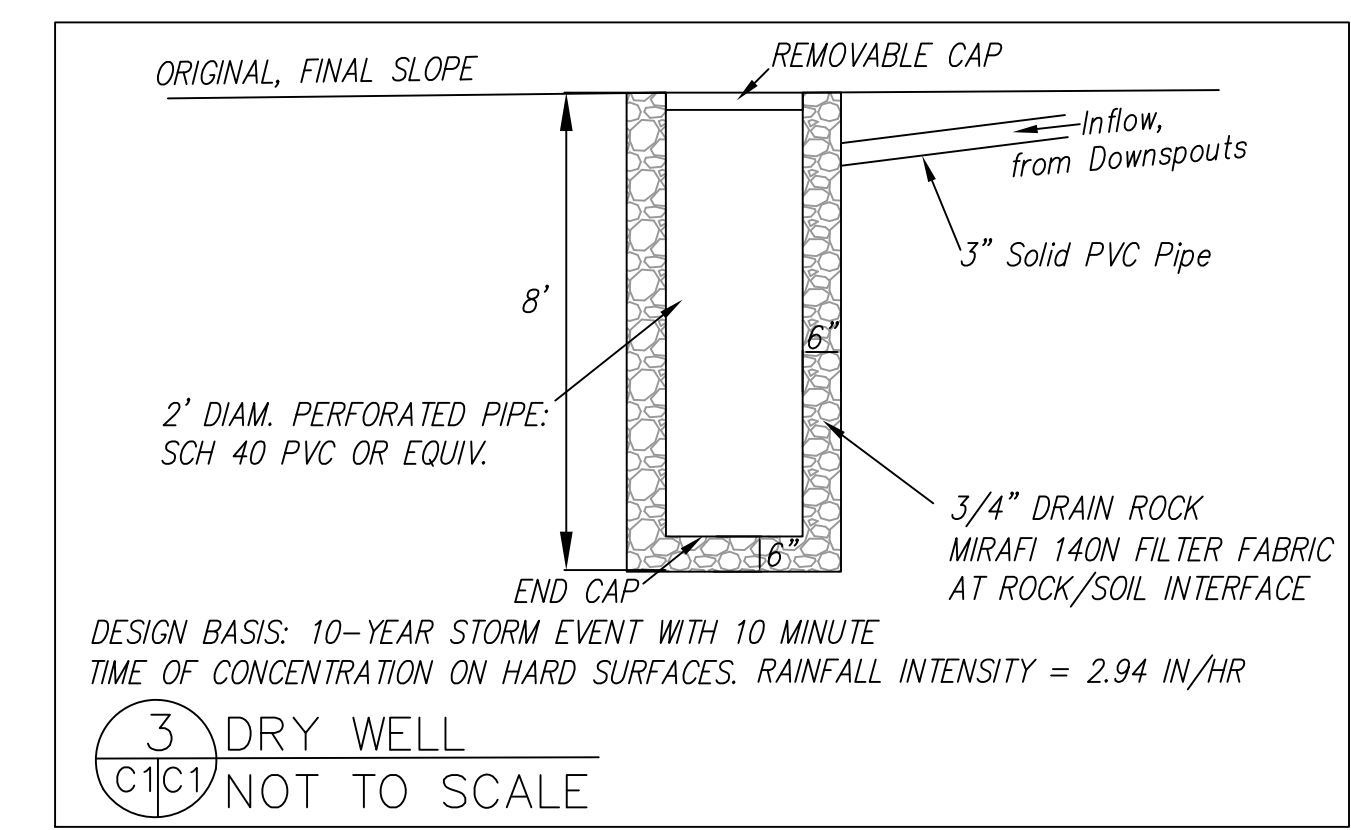


TYPE A (IN ROADWAY) TYPE B (OUTSIDE ROADWAY)

- NOTES:**
1. SAND... MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
No. 4	100
No. 200	0-5
 2. STRUCTURE BACKFILL MATERIAL... MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
3"	100
No. 4	35-100
No. 30	20-100
 3. BACKFILL MATERIAL... MATERIAL FROM EXCAVATION, FREE FROM STONES OR LUMPS EXCEEDING 3 INCHES GREATEST DIMENSION, ORGANIC MATTER, OR OTHER UNSATISFACTORY MATERIAL.
- STANDARD TRENCH BACKFILL AND BEDDING DETAIL FOR PVC SEWER PIPE**
C-7



GRADING AND DRAINAGE PLAN

PETERS PROPERTY
BALBOA AVENUE
EL GRANADA
APN 047-105-100

SHEET
C-1

DATE: 2-10-17	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 3-5-17	REV. DATE:	REV. DATE:
Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 650.725.5690 FAX: 725-5695					

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.



EROSION CONTROL NOTES

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL 3.
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 27 FEET LONG BY 16 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 8 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE).

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: HEATHER PETERS
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-XXX
 PHONE:
 E-MAIL: XXX

• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE. UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

EROSION CONTROL PLAN

DATE: 1-10-17
 DRAWN BY: DMK
 CHECKED BY: AZG
 REV. DATE: 3-5-17
 REV. DATE:
 REV. DATE:

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 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
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PETERS PROPERTY
 BALBOA AVENUE
 EL GRANADA
 APN 047-105-100

SHEET
 C-2

