

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: June 14, 2017

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of a Design Review Permit, a Coastal Development Permit, and a Certificate of Compliance (Type B) to legalize a 6,079 sq. ft. parcel and to allow construction of a new 2,909 sq. ft. single-family residence, including a 728 sq. ft. two-car garage and shop area, on the subject property, and an approximate 33-ft. public roadway extension of Sevilla Avenue (30-ft. wide) to serve the project. The project is located on Sevilla Avenue between Madrona Avenue and Sonora Avenue in the unincorporated El Granada area of San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 2016-00153 (Menendez)

PROPOSAL

The applicant proposes to legalize the subject parcel and construct a new single-family residence with a 728 sq. ft. two-car garage and shop area. Access to the development will be via a driveway entering the site from the front yard. A new 33-ft. public road extension of Sevilla Avenue is proposed to access the subject parcel. There are no trees on-site nor in the proposed area of the roadway extension. The project involves minor grading of 152 cubic yards of excavation and 11 cubic yards of fill (total 163 cubic yards). The parcel is bordered by a vacant parcel to the south, which has been approved for development of a single-family residence and a 150-ft. public road extension (PLN 2016-00091).

RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Coastal Development Permit, and Certificate of Compliance Type B (CoC Type B), County File Number PLN 2016-00153, by making the required findings and adopting the conditions of approval identified in Attachment A of the staff report.

SUMMARY

Setting: The current vacant parcel is triangular in shape located on the easterly side of Sevilla Avenue between Madrona Avenue and Sonora Avenue. The parcel is bordered by a vacant parcel to the south, which has been approved for development of a single-family residence and a 150-ft. road extension (PLN 2016-00091). This project includes an extension of approximately 33 linear feet of that roadway to provide access to the subject parcel. The surrounding areas of Madrona Avenue, Granada Avenue, and Sonora Avenue have been developed with single-family residences while sanitary sewer and water lines are located within the Sevilla Avenue right-of-way.

General Plan Compliance: The project is consistent with applicable General Plan policies, including Urban Land Use Policy 8.132 (*Appropriate Land Use Designations for Urban Areas*), Urban Land Use Policy 8.30 (*Infilling*), and Water Supply Policy 10.10 (*Water Suppliers in Urban Areas*). The proposed single-family residence is located within a developed urban residential area of El Granada that is designated for medium density residential land use. Water and sewer service providers have confirmed that service connections are available for this site.

Local Coastal Program (LCP) Compliance: LCP Policy 1.28 (*Legalizing Parcels*) requires a Coastal Development Permit (CDP) when issuing CoCs Type B to legalize parcels. The applicant has submitted an application, along with the appropriate fees, for said permit. Policy 1.29 provides standards for review when legalizing parcels. On undeveloped parcels created before January 1, 1973 (the date of the creation of the State Coastal Commission and regional commissions), it must be determined that the parcel configuration will not have any substantial adverse impacts on coastal resources, in conformance with the standards of review of the Coastal Development District regulations. Permits to legalize this type of parcel shall be conditioned to maximize consistency with LCP resource protection policies. As parcel size and width conform to the S-17 Zoning District regulations and the parcel does not contain any sensitive habitat as defined by the LCP, there is no reason to believe that the current parcel legalization would result in future development impacting coastal resources.

Certificate of Compliance: The subject property was initially part of the “El Granada Highlands Subdivision No. 8” recorded in 1909. It was conveyed together with other parcels until 1973. Only at that time was it conveyed separately from adjacent lots around it; therefore, a CoC Type B is required to legalize the parcel. Section 7134.2.c allows for the approval and recordation of a CoC Type B subject to a public hearing and the imposition of conditions of approval to ensure that development on the parcel complies with public health and safety standards. As the project includes a road extension for access to the subject parcel, and water and sanitary sewer services are available, there are no improvement conditions necessary prior to recording the CoC Type B document.

Zoning and Design Review Compliance: The project complies with the R-1/S-17 Zoning Regulations, including those regarding parcel size, setbacks, lot coverage, floor area, height, and parking requirements. The project was found to comply with the Design Review Standards pursuant to the CDRC's recommendation for approval and associated conditions.

CEQA Compliance: The proposed parcel legalization is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act, related to construction of a single-family residence in a residential zone and associated development including legalization of the parcel and the road extension.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: June 14, 2017

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Design Review Permit and a Coastal Development Permit, pursuant to Sections 6565.3 and 6328.4 of the County Zoning Regulations, as well as a Certificate of Compliance (Type B) to legalize a 6,079 sq. ft. parcel, pursuant to Section 7134.2 of the County Subdivision Regulations, to allow construction of a new 2,909 sq. ft. single-family residence, including a 728 sq. ft. two-car garage and shop area, on the subject property, and an approximate 33-ft. public roadway extension of Sevilla Avenue (30 ft. wide) to serve the project. The project is located on Sevilla Avenue between Madrona Avenue and Sonora Avenue in the unincorporated El Granada area of San Mateo County. The project involves minor grading and no tree removal. The project is appealable to the California Coastal Commission.

County File Number: PLN 2016-00153 (Menendez)

PROPOSAL

The applicant proposes to legalize the subject parcel and to construct a new single-family residence with a 728 sq. ft. two-car garage and shop area. Access to the residence will be via a driveway entering the site from the front yard. A new 33-ft. public road extension of Sevilla Avenue is proposed to access the subject parcel. There are no trees on-site nor in the proposed area of the roadway extension. The project involves minor grading of 152 cubic yards of excavation and 11 cubic yards of fill (total 163 cubic yards). The parcel is bordered by a vacant parcel to the south, which has been approved for development of a single-family residence and a 150-ft. road extension (PLN 2016-00091).

RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Coastal Development Permit, and Certificate of Compliance Type B (CoC Type B), County File Number PLN 2016-00153, by making the required findings and adopting the conditions of approval identified in Attachment A.

BACKGROUND

Report Prepared By: Camille Leung, Project Planner, Telephone 650/363-1826

Applicant: Eric Cox, Engineer

Owners: J.C. Menendez Barrera and Diane Menendez

Location: Sevilla Avenue between Madrona Avenue and Sonora Avenue, El Granada

APN: 047-071-260

Size: Approximately 6,079 sq. ft.

Existing Zoning: R-1/S-17/DR/CD

General Plan Designation: Medium Density Residential (6.1 - 8.7 dwelling units/net acre), Urban Land Use

Parcel Legality: Lot 17, Block 87, "El Granada Highlands Subdivision No. 8," recorded in San Mateo County Records on June 7, 1909, in Book 6 at Page 65. Confirmation of the legality of this lot is included in this application and is discussed in Section A.3 of this report.

Existing Land Use: Vacant

Water Supply: Coastside County Water District (CCWD)

Sewage Disposal: Granada Community Services District (GCSD)

Flood Zone: FEMA Flood Insurance Rate Map designation indicates parcel as Zone X, Areas of 0.2% Annual Chance of Flood, Community Panel No. 06081C0138E, dated October 16, 2012.

Environmental Evaluation: The proposed single-family residence is categorically exempt under provisions of Class 3, Section 15303, of the California Environmental Quality Act Guidelines, for the construction of a single-family residence in an urbanized, residential zone and associated development including legalization of the parcel and the road extension.

Setting: The current vacant parcel is triangular in shape and located on the easterly side of Sevilla Avenue between Madrona Avenue and Sonora Avenue. The parcel is bordered by a vacant parcel to the south, which has been approved for development of a single-family residence and a 150-ft. road extension (PLN 2016-00091). This project includes an extension of approximately 33 linear feet of that public roadway to provide access to the subject parcel. The surrounding areas of Madrona Avenue, Granada

Avenue, and Sonora Avenue have been developed with single-family residences while sanitary sewer and water lines are located within the Sevilla Avenue right-of-way.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Visual Quality Policy 4.15 (*Appearance of New Development*) regulates development to promote and enhance good design, site relationships, and other aesthetic considerations. Policy 4.16 (*Supplemental Design Guidelines for Communities*) also encourages the County to have supplemental site and architectural design guidelines for communities to reflect local conditions, characteristics, and design objectives that are flexible enough to allow individual creativity. The proposed single-family residence will be in El Granada, one of the County's Design Review Districts. The project was reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast by the Coastside Design Review Committee at their regular meeting on April 13, 2017. The project's compliance with the applicable design review standards is discussed further in Section A.3.b of this report, below.

Urban Land Use Policy 8.13 (*Appropriate Land Use Designations and Locational Criteria for Urban Unincorporated Areas*) designates this portion of unincorporated El Granada with a GP Land Use Designation of Medium Density Residential (6.1 - 8.7 dwelling units/net acre). The proposal does not exceed this density, and this area is correspondingly zoned "Single-Family Residential/5,000 sq. ft. Minimum Lot Size" (R-1/S-17), with which the proposed project is in compliance relative to lot size (the subject lot exceeds 5,000 sq. ft.). The project also complies with Policy 8.14 (*Land Use Compatibility*), in that the parcel's future and potential development with a single-family residence would "protect and enhance the character of existing single-family areas."

Urban Land Use Policy 8.30 (*Infilling*) encourages the infilling of urban areas where infrastructure and services are available. The project complies with this policy, as the subject site is located within a developed residential area of El Granada.

Water Supply Policy 10.10 (*Water Suppliers in Urban Areas*) and Wastewater Policy 11.5 (*Wastewater Management in Urban Areas*) require consideration of water systems as the preferred method of water supply and sewerage systems as the appropriate method of wastewater management in urban areas. CCWD and GCSD are the respective water and sewer

service providers for this urban area. Both districts have confirmed that service connections to their systems are available for this site.

2. Conformance with the Local Coastal Program (LCP)

LCP Policy 1.28 (*Legalizing Parcels*) requires a Coastal Development Permit (CDP) when issuing CoCs (Type B) to legalize parcels. The applicant has submitted an application for said permit. Policy 1.29 provides standards for review when legalizing parcels. On undeveloped parcels created before January 1, 1973 (the date of the creation of the State Coastal Commission and regional commissions), it must be determined that the parcel configuration will not have any substantial adverse impacts on coastal resources, in conformance with the standards of review of the Coastal Development District regulations. Permits to legalize this type of parcel shall be conditioned to maximize consistency with LCP resource protection policies. As the parcel size and width conform to the S-17 Zoning District regulations and the parcel does not contain any sensitive habitat as defined by the LCP, there is no reason to believe that the current parcel legalization would result in future development impacting coastal resources.

LCP Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to 40 units per calendar year so that roads, public services and facilities, and community infrastructure are not overburdened by impacts of new residential development. Staff anticipates that the building permits to be issued for the 2017 calendar year will not exceed this limit, based on estimates of current applications for building permits for this calendar year and those issued in 2016.

Visual Resources Component

LCP Policy 8.12a (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which include El Granada. The project is, therefore, subject to Section 6565.20 of the Zoning Regulations. As discussed in Section 3 of this report, the Coastsides Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meeting on April 13, 2017, and determined it to be in compliance with applicable Design Review Standards, and recommended approval. See further discussion in Section A.3.b.

LCP Policy 8.13a (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed house complies with these guidelines as follows:

- a. The project does not significantly alter the existing topography. The project involves minor grading, including 152 cubic yards of excavation

and 11 cubic yards of fill (total 163 cubic yards), necessary for siting the residence and for extending the existing roadway by 33 feet. The Department of Public Works and the Planning and Building Department's Geotechnical Section have reviewed and conditionally approved the project, including the grading work involved.

- b. The proposed residence uses materials and colors with a natural appearance such as Hardie-Shingle siding, and non-reflective, asphalt roof shingles that will blend with the vegetative cover of the site and surrounding area.
- c. The proposed residence uses hip roofs and non-reflective, asphalt roof shingles (as cited above) as the primary roof material.
- d. The enhanced façade articulation brings the proposed structure to a scale compatible with the residences in the neighborhood.

3. Conformance with Subdivision Regulations

A Conditional CoC (Type B) is required to legalize parcels in compliance with provisions of the County regulations and State subdivision laws in effect at the time of creation. This process is required before new development can proceed.

As a result of recent court decisions, the division of land creating the subject parcel must be legally confirmed, as these decisions apply to undeveloped lots of antiquated subdivisions. In this case, the subdivision map of the subject property, Lot 17 of Block 87 of the "El Granada Highlands Subdivision No. 8", was recorded in 1909. County Subdivision Regulations Section 7134 allows for either a CoC (Type A) or CoC (Type B) to resolve and confirm a parcel's legality. As such, to qualify for a CoC (Type A) (confirmation of lot legality), pursuant to Section 7134.1, it must be confirmed that the lot comprising the subject project parcel was conveyed separately from any surrounding lots prior to the County's adoption of its first Subdivision Ordinance in July 1945. If such conveyance is confirmed to have occurred after that date, a CoC (Type B), parcel legalization, pursuant to Section 7134.2, shall be required, as is the case with this application.

While the subject property was initially part of the cited "El Granada Highlands Subdivision No. 8" recorded in 1909, it was conveyed together with other parcels until 1973. Only at that time was it conveyed separately from adjacent lots; therefore, a CoC (Type B) is required to legalize the parcel. Section 7134.2.c allows for the approval and recordation of a CoC (Type B) subject to a public hearing and the imposition of conditions of approval to ensure that development on the parcel complies with public health and safety standards.

As discussed in this report, the project complies with applicable policies of the County’s General Plan, the Local Coastal Program, and the Zoning Regulations. As stated in Section A.4, the subject parcel complies with the Zoning Regulations. Regarding conditions of approval, Section 7134.2.c(a) of the Subdivision Regulations states that the Community Development Director may impose any conditions which would have been applicable to any development on the property. As the project includes a public road extension for access to the subject parcel, and water and sanitary sewer services are available, there are no improvement conditions necessary prior to recording the CoC Type B document.

4. Conformance with Zoning Regulations

a. Conformance with S-17 District Development Standards

The proposal complies with the property’s R-1/S-17/DR/CD Zoning Designation, as described in the following table:

	S-17 Development Standards	Proposed
Minimum Building Site Area	5,000 sq. ft.	6,079 sq. ft. (existing)
Minimum Building Site Width ¹	50 ft.	64 ft.
Maximum Building Site Coverage	2,127.6 sq. ft. (35%)	1,378 sq. ft. (23%)
Maximum Floor Area	3,221.8 sq. ft. (53%)	2,909 sq. ft. (48%)
Minimum Front Setback	20 ft.	20 ft.
Minimum Rear Setback	20 ft.	35 ft.
Minimum Right Side Setback	5 ft.	8 ft.
Minimum Left Side Setback	5 ft.	7 ft.
Maximum Combined Side Yard	15 ft.	15 ft.
Maximum Building Height	28 ft.	27.9 ft.
Minimum Covered Parking	2 Spaces	2 Spaces
Daylight Plane or Façade Articulation	Façade Articulation	Complies

The proposed two-story single-family residence meets the zoning district height standards, and includes a design, scale, and size compatible with other residences located in the vicinity. The proposed lot coverage is 23% (1,378 sq. ft.) of total lot size, where 35% (2127.6 sq. ft.) is the maximum allowed. Furthermore, the total floor area proposed is 48% (2,909 sq. ft.) of total lot size, where 53% (3,221.8 sq. ft.) is the maximum allowed.

¹ Section 6102.62 of the Zoning Regulations defines lot width as “the horizontal distance between the side lot lines measured at right angles to the lot depth at a point midway between the front and rear lot lines.”

b. Conformance with Design Review Standards

The project was reviewed by the Coastside Design Review Committee (CDRC) on April 13, 2017. The CDRC reviewed the design and found it to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast under Section 6565.20 of the San Mateo County Zoning Regulations (see Attachment E), specifically elaborated as follows:

- (1) Regarding Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT which requires residences to integrate with the natural setting by minimizing filling or placement of earth materials, the CDRC found that the project avoids raising the building pad for the new home above the existing grade, to the extent feasible.
- (2) Regarding Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT which requires residences to complement other structures in the neighborhood by substantially avoiding affecting neighbors' privacy, the CDRC found that the project locates, orients, and designs windows, entrances, decks and balconies to minimize and mitigate direct views into neighboring houses and outdoor decks/patios.
- (3) Regarding Section 6565.20 (D) ELEMENTS OF DESIGN which requires residences to minimize the appearance of building mass through the use of shape and scale that are proportional with other buildings in the neighborhood, the CDRC found that the proposed design of the new house includes roof forms, shape and form, building dimensions, facade articulation, and architectural details, such as a rectangular bay and balconies, that are proportional and complementary to other homes in the neighborhood.
- (4) Regarding Section 6565.20 (D) ELEMENTS OF DESIGN which requires the design of front entries to be on a scale compatible with other features of the house to maintain a residential appearance, the CDRC found the project to be consistent with this standard.

B. ENVIRONMENTAL REVIEW

The proposed parcel legalization is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act related to construction of a single-family residence in a residential zone and associated development including legalization of the parcel and the road extension.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

In an email sent to Planning staff on May 14, 2016, Lisa Ketcham, Vice Chair Midcoast Community Council (MCC), states that the MCC reviewed this project alongside the proposal for a new single-family residence located on the adjacent parcel immediately south of the subject parcel (APN 047-071-270) under PLN 2016-00091. The MCC is concerned about the additional impervious road surface for the two projects and the cumulative impacts of development on Highways 1 and 92.

There are two parcels that are part of two separate permits. APN 047-071-260 (PLN 2016-00153), the subject of this application, and APN 047-071-270 (PLN 2016-00091 for applicant Tim Finicle) are each proposed to be developed with one single-family home. As part of the efforts for Connect the Coastsides, San Mateo County's Congestion Management Plan for the Midcoast area of the unincorporated County, the County has undertaken analysis regarding the impact of future development of the Midcoast area. This includes crafting policies, which have not yet been adopted by the County, regarding lot mergers. In its current draft form, the proposed merger policy states that properties that are comprised of at least two contiguous parcels in the same ownership, at least one parcel is undeveloped, and the area of at least one lot is less than 4,500 square feet in the R-1 or R-3 Districts are candidates for mandatory mergers. The two lots that are proposed for development are owned by different property owners and are each greater than 5,000 sq. ft. The analysis for Connect the Coastsides has not identified the subject lots as candidates for merger and, as such, the County has already accounted for the impact of the development of both of these parcels.

Connect the Coastsides also considers potential transportation improvements to vehicle, pedestrian, and bicycle travel and public transit. The proposed improvements to these systems are to accommodate full buildout of the Midcoast area. While the date of full buildout is unknown, it is estimated that approximately 700 single-family homes will be added to the Midcoast area by the year 2040. Connect the Coastsides is reviewing potential improvements to ensure that future residential and non-residential development can be supported by the future transportation system and infrastructure in the Midcoast area. While some intersections and roadways within the Connect the Coastsides Study area may be currently deemed deficient under the standard applied by Connect the Coastsides, the cumulative impact for the limited development of these two parcels, each with one single-family house, would be minimal and would not increase the level of

deficiencies to require any mitigation measures or improvements to the transportation system on the Midcoast, specifically, Highway 1 and Highway 92.

The MCC has been notified of the Planning Commission's review of this project.

D. REVIEW BY THE CALIFORNIA COASTAL COMMISSION

The California Coastal Commission (CCC) did not forward a response to staff's referral for this project. The CCC has been notified of the Planning Commission's review of this project. Also, as the final decision on the CDP is appealable to the CCC, they will be duly notified of the County's final decision, which will initiate their appeal period.

E. OTHER REVIEWING AGENCIES

Building Inspection Section
Department of Public Works
Coastside Fire Protection District
Coastside County Water District
Granada Community Services District
Geotechnical Section

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans for Residence
- D. Project Plans for Road Extension
- E. Coastside Design Review Committee Decision Letter, dated April 24, 2017
- F. El Granada Highlands Subdivision Map, dated 1909

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2016-00153

Hearing Date: June 14, 2017

Prepared By: Camille Leung
Project Planner

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the proposed project is categorically exempt pursuant to Section 15303, Class 3, of the California Environmental Quality Act related to construction of a single-family residence in a residential zone and associated development including legalization of the parcel and the public road extension.

Regarding the Certificate of Compliance, Find:

2. That the processing of the Certificate of Compliance (CoC) (Type B) is in full conformance with the County Subdivision Regulations Section 7134 (*Legalization of Parcels; Certificate of Compliance*), particularly Sections 7134.2(a), (b), and (c). The subject property was initially part of the cited "El Granada Highlands Subdivision No. 8" recorded in 1909, however, it was conveyed together with other parcels until 1973. Only at that time was it conveyed separately from adjacent lots, therefore a CoC Type B is required to legalize the parcel. Section 7134.2.c allows for the approval and recordation of a CoC Type B subject to a public hearing and the imposition of conditions of approval to ensure that development on the parcel complies with public health and safety standards. While the project is not currently accessible by a roadway, a condition of approval is not needed, as a public road extension to the parcel is part of the development proposal and will be required by the Department of Public Works and built at the time of the construction of the proposed residence.
3. That the processing of the CoC Type B is in full conformance with Government Code Section 66499 et seq.

Regarding the Coastal Development Permit, Find:

4. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program. The plans and materials have been reviewed against the application requirements of Section 6328.7 of the Zoning Regulations, and the project has been conditioned to minimize impacts to the location of new development and visual resources in accordance with the components of the Local Coastal Program. The project was also recommended for approval by the Coastsides Design Review Committee (CDRC) on April 13, 2017 in which the CDRC determined that it is in compliance with all applicable Design Review Standards.
5. Where the project is located between the nearest public road and the sea that the project is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The project is not located between a public road and the sea, and will not interfere with the public's right-of-access to the sea.
6. That the project conforms to specific findings required by policies of the San Mateo County Local Coastal Program. The project will not significantly impact coastal resources or sensitive habitats as it is located within an urban area zoned for single-family residential development, is not located near any creeks or coastal bluffs, and does not contain sensitive habitat or trees 12" or more in dbh.
7. That the number of building permits for construction of single-family residences other than for affordable housing issued in the calendar year does not exceed the limitations of Policies 1.22 and 1.23 as stated in Section 6328.19. Staff anticipates that the building permits to be issued for the 2017 calendar year will not exceed this limit, based on estimates of current applications for building permits for this calendar year and those received in 2016.

Regarding the Design Review, Find:

8. The project has been reviewed under and, as conditioned, has been found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast under Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
 - a. Regarding Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT which requires residences to integrate with the natural setting by minimizing filling or placement of earth materials, the Coastsides Design Review Committee (CDRC) found that the project avoids raising the building pad for the new home above the existing grade, to the extent feasible.

- b. Regarding Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT which requires residences to complement other structures in the neighborhood by substantially avoiding affecting neighbors' privacy, the CDRC found that the project locates, orients and designs windows, entrances, decks and balconies to minimize and mitigate direct views into neighboring houses and outdoor decks/patios.
- c. Regarding Section 6565.20 (D) ELEMENTS OF DESIGN which requires residences to minimize the appearance of building mass through the use of shape and scale that are proportional with other buildings in the neighborhood, the CDRC found that the proposed design of the new house includes roof forms, shape and form, building dimensions, facade articulation, and architectural details, such as a rectangular bay and balconies, that are proportional and complementary to other homes in the neighborhood.
- d. Regarding Section 6565.20 (D) ELEMENTS OF DESIGN which requires the design of front entries to be on a scale compatible with other features of the house to maintain a residential appearance, the CDRC found the project to be consistent with this standard.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal as described in the plans, supporting materials, and reports as approved by the Planning Commission on June 14, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The Coastal Development Permit and Design Review Permit final approval shall be valid for five (5) years from the date of approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall demonstrate compliance with the following requirements on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:

Requirements:

- a. Replace bark with wild grass seed in landscape areas.
- b. Use permeable pavers in lieu of stamped concrete for all patios (at a minimum).
- c. Use a maximum of one exterior light per door except for the garage where two lights are acceptable per the proposed design.
- d. Add a belly band to the right-side elevation at the same height as the second level deck.

Recommendations:

- a. Choose a window color other than white.
 - b. Remove lattice.
4. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the

lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
5. Projects subject to Provision C.3.i (individual single-family home projects that create and/or replace 2,500 square feet or more of impervious surface, and other projects that create and/or replace at least 2,500 square feet of impervious surface but are not C.3 Regulated Projects) shall implement at least one of the six site design measures listed below:
- a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.

- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

8. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
9. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and the Coastside Fire Protection District.
10. No site disturbance shall occur, including any grading, until a building permit has been issued.
11. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Sevilla Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Sevilla Avenue. There shall be no storage of construction vehicles in the public right-of-way.
12. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
14. Installation of the approved landscape plan is required prior to final inspection.
15. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELo) and provide required forms. WELo applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects

under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- a. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into the landscape area (unless contra-indicated by a soil test).
- b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.
- c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
- d. Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
- e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

Certificate of Compliance (Type B)

16. The subject Certificate of Compliance (Type B), which shall represent Lot 17, Block 87, as one single legal parcel, shall be recorded prior to the issuance of any other permits related to any development on this property.
17. The Certificate of Compliance (Type B) required to establish the legality of the existing parcel, APN 047-071-260, shall be recorded by the Project Planner.
18. The applicant is advised that, prior to recordation of the Certificate of Compliance description, the owner/applicant shall provide the Project Planner with a check to cover the fee now charged by the Recorder's Office. The Project Planner will confirm the amount "prior to" recordation.

Geotechnical Section

19. The applicant shall submit a soils report with the building permit application.

Coastside County Water District (CCWD)

20. The project is required to comply with CCWD's Indoor Water Use Efficiency Ordinance which includes regulations on water metering and water use efficiency specifications for plumbing fixtures and appliances. CCWD staff performs inspections to verify compliance with all district regulations during and after construction.
21. If fire sprinklers are required by the Coastside Fire Protection District, fire sprinklers are served from a separate fire service water connection with a separate fire meter. Please note that CCWD does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection. There shall be no cross connections, and approved backflow protection is required.
22. CCWD requires a full set of the most current building and fire plans for water service review and approval.
23. Before issuance of a building permit, the CCWD will need to evaluate a complete set of building plans to determine if the water service capacity available is adequate for this development and complies with all CCWD regulations.

Coastside Fire Protection District

24. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Smoke detectors shall be tested and approved prior to the building final.
25. Add note to plans: Smoke alarms/detectors are to be hard wired, interconnected, or with battery back-up. Smoke alarms are to be installed per the manufacturer's instruction and NFPA 72.
26. Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall not be more than 44 inches above the finished floor.
27. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to the plans.

28. Attached garage to meet occupancy separate requirements. Provide note/detail. CRC R302.5/R302.6
29. Address Numbers: As per Coastside Fire District Ordinance 2013-03, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON-SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflection numbers/letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.
30. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway / roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective numbers / letters similar to Hy-Ko 911 or equivalent.
31. Roof Covering: As per Coastside Fire District Ordinance 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
32. Vegetation Management: The Coastside Fire District Ordinance 2013-03, the 2013 California Fire Code, and the Public Resources Code 4291:
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.

33. Add the following note to the plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2 inch.
34. Add the following note to the plans: A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
35. Add the following note to the plans: Tree located within defensible space shall be pruned to remove dead and dying portions, and limbed up to 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
36. Add the following note to the plans: Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any trees adjacent to or overhanging a building free of dead or dying wood.
37. Fire Access Roads: the applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2013-03, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2013 CC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-ft. road) and on-street parking is desired, an additional improved area shall be developed for that use. Existing turnaround needs to be improved.
38. "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 2 feet wide. CC D103.6.
39. Fire Hydrant: As per 2013 CFC, Appendices B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2013 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
40. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1,000 gpm at 20 psi. This

information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CalFire or Coastside Fire Protection District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.

41. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2013-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception are small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department or the City of Half Moon Bay. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of the plans, the County or City will forward a complete set to the Coastside Fire Protection District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
42. Installation of underground sprinkler pipes shall be flushed and visually inspected by the Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
43. Exterior Bell and Interior Horn/Strobe: Are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe, and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
44. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
45. All fire conditions and requirements must be incorporated into your building plans (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.

Department of Public Works

46. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the

pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

47. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access from the nearest "publicly" maintained roadway to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

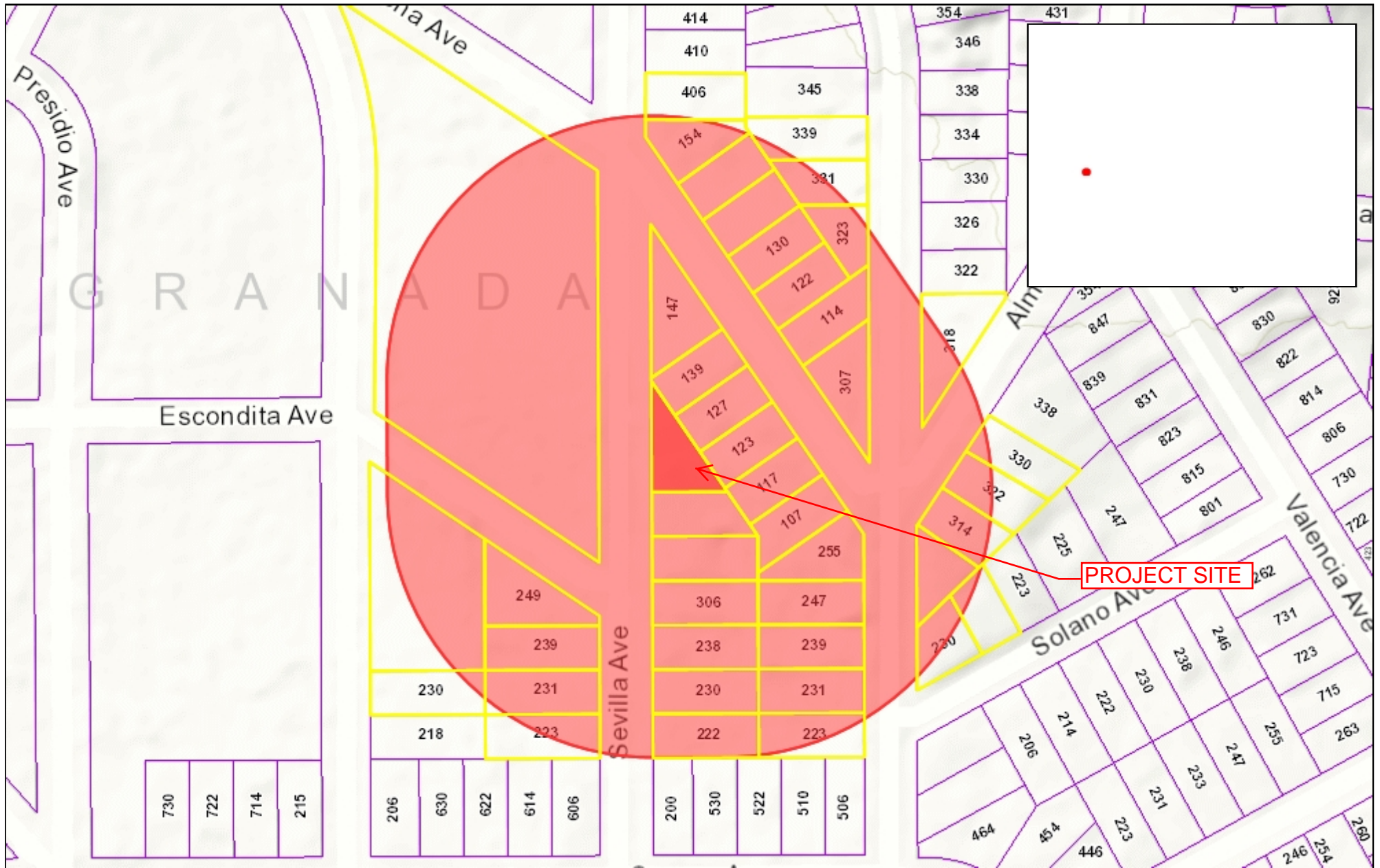
All drainage and stormwater requirements apply to the roadway and shall be included in the design and reviewed by the Department of Public Works. The applicant shall coordinate these plans with the adjoining property owner's plans to ensure a smooth, continuous, and safe roadway.

48. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
49. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
50. Erosion and sediment control during the course of this grading work shall be according to a plan prepared and signed by the Engineer of Record, and approved by the Department of Public Works and the Planning Department. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the Engineer.

Granada Community Services District

51. A sewer mainline facility to serve the project parcel is on Sevilla Avenue. The applicant must obtain a sewer connection permit.

CML:jlh – CMLBB0274_WJU.DOCX



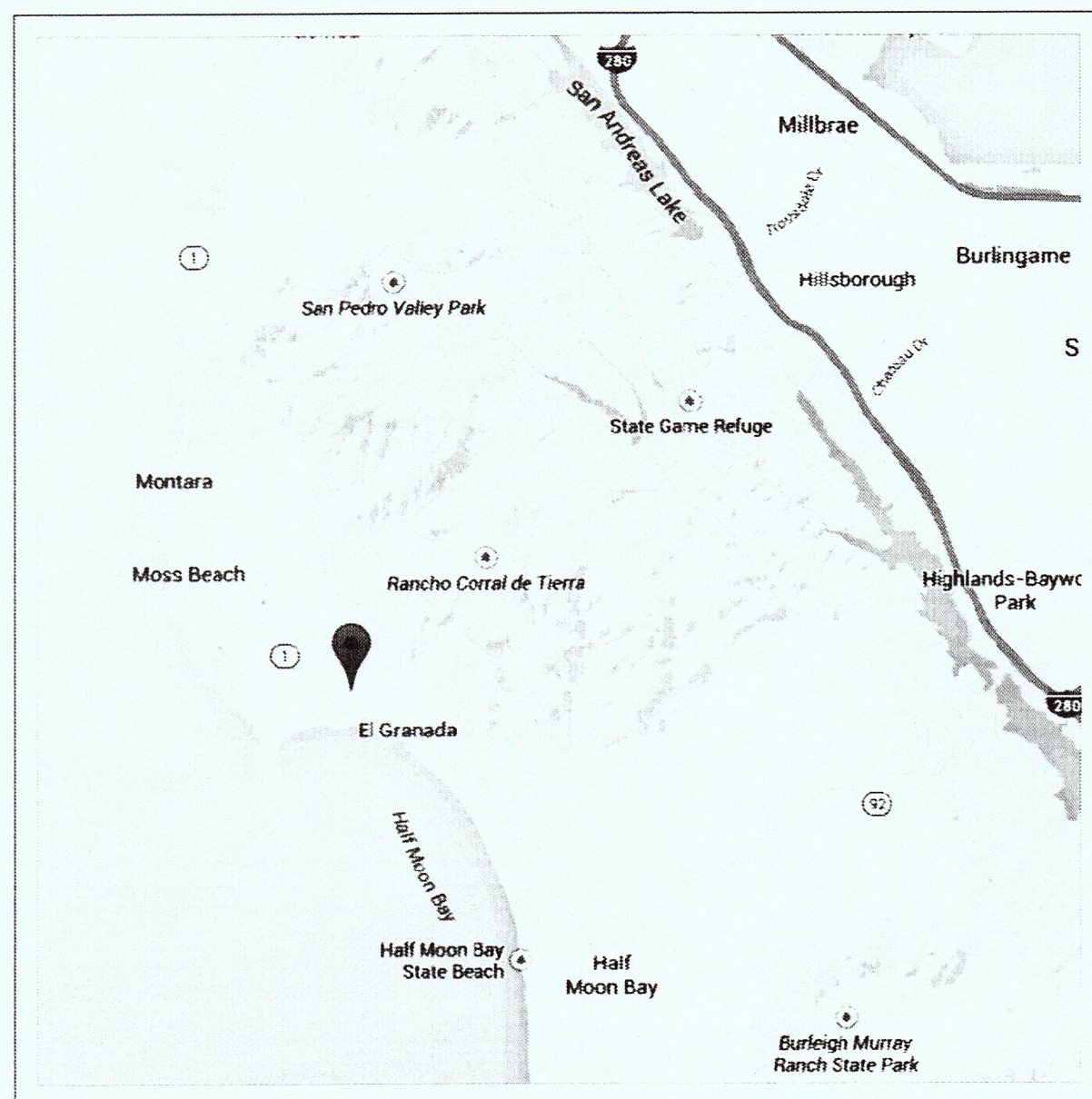
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WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

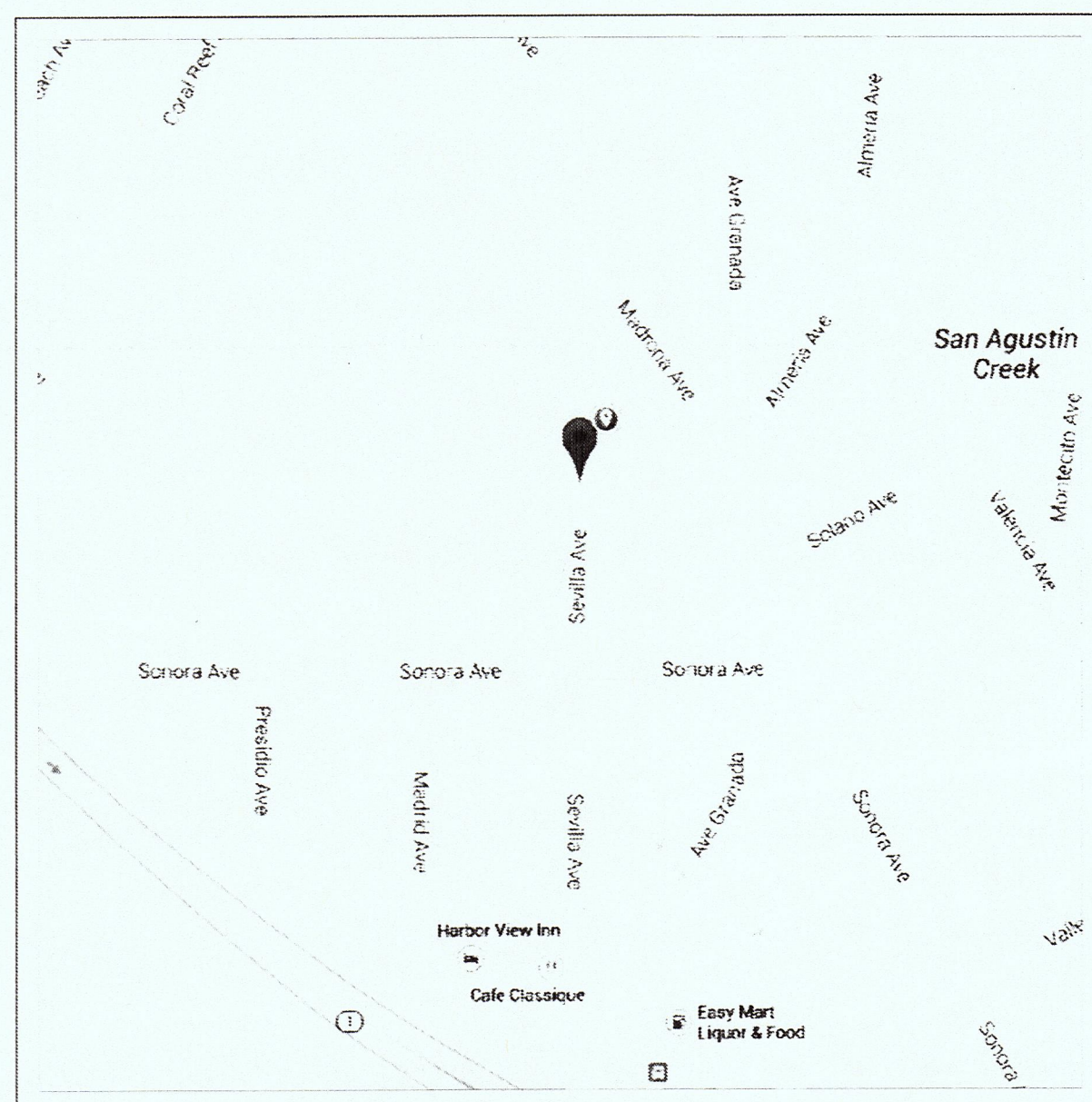
1:2,256

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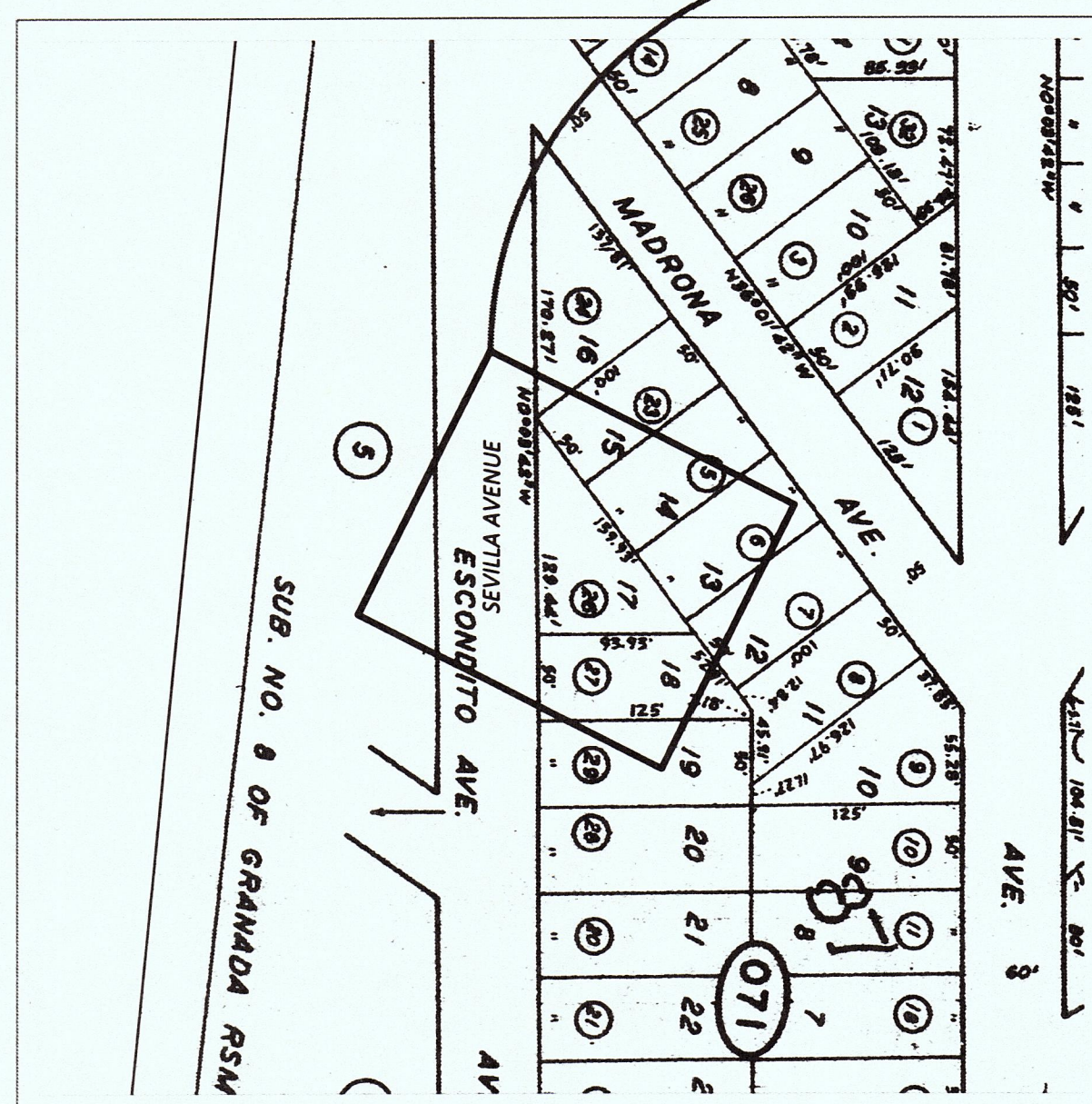
THIS MAP IS NOT TO BE USED FOR NAVIGATION



1 VICINITY MAP
NTS



2 LOCATION MAP
NTS



3 PARCEL MAP
NTS

PROJECT DATA:

Site Address : Sevilla Ave. Granada, CA.
 Owner : Juan Carlos & Diane Menendez
 APN : 047-071-260
 Occupancy : Group R

Construction Type : V3
 Zone : R3
 Lot Size : 6,079 sf.
 Proposed Lot Coverage : 1,378 sf.
 Max allowed lot coverage : 1,378 / 6,079 = 22 %
 Conditioned Space : 2,173 sf.
 Max allowed lot coverage : 2,173 / 6,079 = 36 %

Conditioned Space : 2,173 sf.
 First Floor : 1,203 sf.
 Second Floor : +978 sf.
 Total = 2,181 sf.

Unconditioned Space : +728 sf.
 Garage Level : +728 sf.
 Total Area = 2,909 sf.

FAR = 2,909 / 6,079 = 47%

ARCHITECTURAL SYMBOLS:

- (E) WALL
- (N) WALL
- WALL TO BE REMOVED
- DASHED LINES, ITEM ABOVE OR BELOW, U.N.O.
- PROPERTY LINE

- SECTION MARK NO. REFER TO SAME SHEET
- DETAIL DRAWING NUMBER REFER TO THIS SHEET

- (E) EXISTING
- (N) NEW
- SSD SEE STRUCTURAL DETAILS
- DS DOWN SPOUT
- FD FLOOR DRAIN

SCOPE OF WORK:

1. New Single Family Residence.

INDEX:

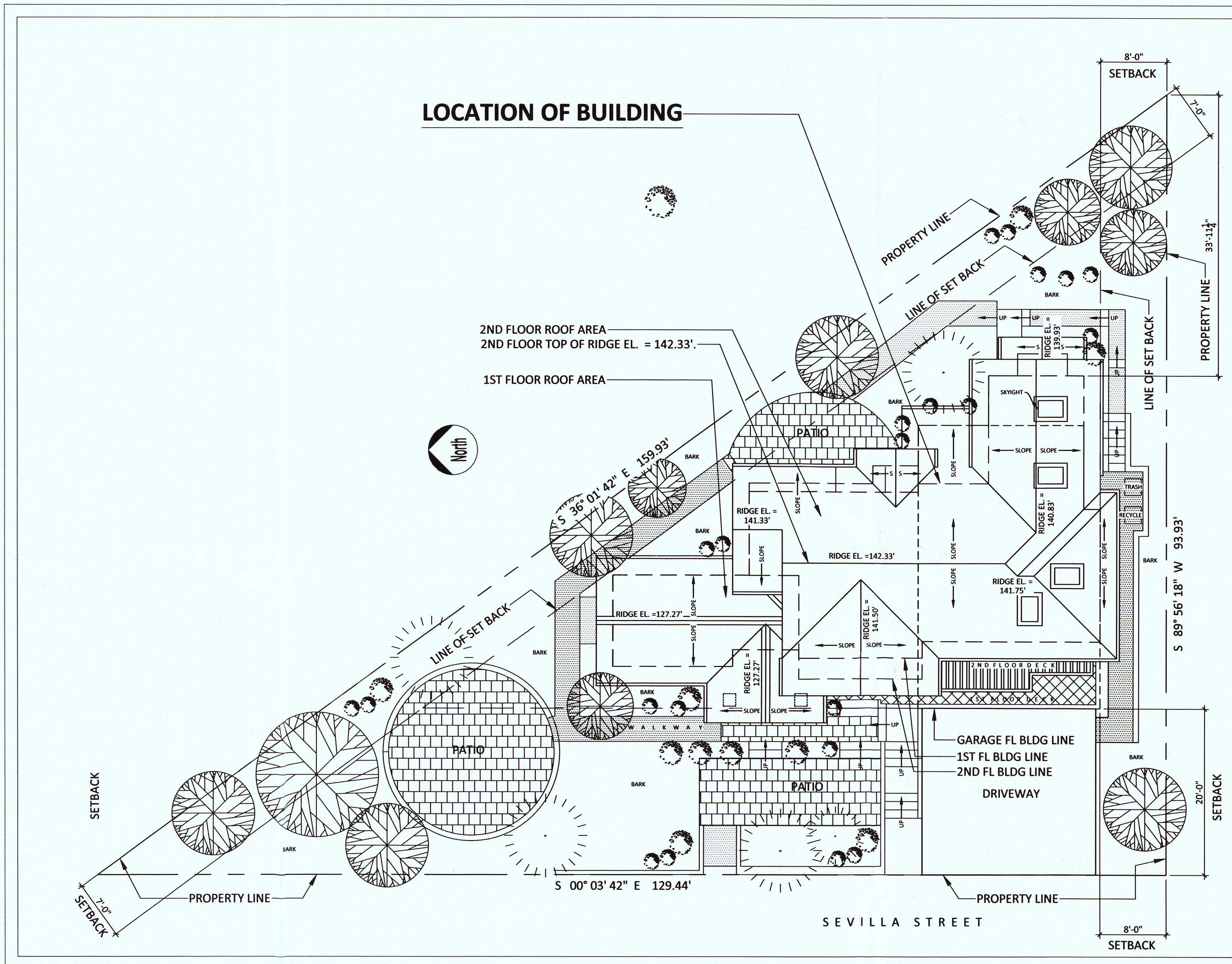
ARCHITECTURAL

- A0: SITE & NOTES
- A0.1: SITE DEVELOPMENT & AREA DISTRIBUTION & LANDSCAPE PLAN
- A0.2: ROOF PLAN & TOPOGRAPHY
- A1: FLOOR PLANS WITH TOPOGRAPHY
- A1.1: GARAGE FLOOR PLAN & FIRST FLOOR PLAN
- A2: SECOND FLOOR PLAN
- A3: ELEVATIONS
- A4: ELEVATIONS
- A5: SECTIONS

STRUCTURAL

- S0: STRUCTURAL NOTES
- S1: FOUNDATION PLAN AND GRADE BEAMS
- S1.1: CRIPPLE WALL PLAN
- S2: FIRST FLOOR FRAMING PLAN & WALLS BELOW
- S3: FIRST FLOOR BRACED WALLS & HEADERS PLANS
- S4: SECOND FLOOR FRAMING PLAN & WALLS BELOW
- S5: SECOND FLOOR BRACED WALLS & HEADERS PLANS
- S6: FIRST FLOOR & SECOND FLOOR CEILING FRAMING PLAN & WALLS BELOW
- S6.1: ATTIC BRACED WALL PLAN
- S7: ROOF FRAMING PLAN
- S8: DETAILS
- S9: DETAILS

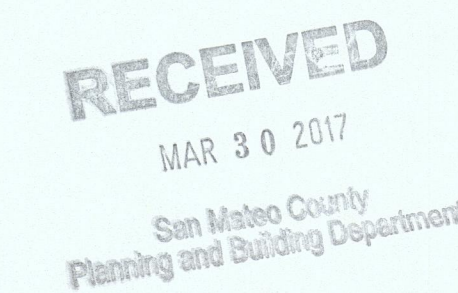
LOCATION OF BUILDING



4 THE SITE PLAN
1/8"=1'-0"

GENERAL NOTES:

1. The structural plans and calculations have been prepared for use by a knowledgeable builder.
2. All new construction shall conform to the California Building Code, 2013 Edition, and The County of San Mateo Building and Planning Codes.
3. Do not scale the drawings: if in doubt, call the engineer.
4. Roof live load is 20 psf, reduced for slope as applicable, floor live load is 40 psf, ceiling/attic live load is 10 psf.
5. The engineer of record is Eric Cox, R.S.E., an employee of Kembcon Engineers. Call him with any questions regarding the structure at 650 343 3810.



ATTACHMENT C

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

SITE & NOTES

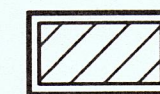

DATE:	Jan. 7, 2016
SCALE:	AS SHOWN
DRAWN:	AFT
SHEET:	A0

A0

PLAN 2016-00153

LEGEND & AREAS:

TOTAL LOT AREA: 6,079 SF


 BUILDING COVERAGE: 1,378 SF
 OPEN SPACE: 4,701 SF

HARDSCAPE: 1,820 SF

IMPERVIOUS AREAS:

 CONCRETE: 1,537 SF

PERVIOUS AREAS:

 GRASS TURF PAVERS: 404 SF
 70 % CONCRETE 283 SF
 30 % GRASS 121 SF

SOFTSCAPE: 2,764 SF

 BARK: 2,459 SF

 TREES (NEW) NO EXISTING: 105 SF

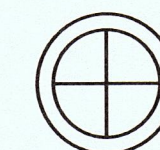
 CALIFORNIA FESCUE: 96 SF

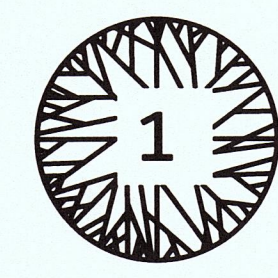
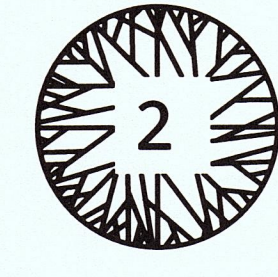




TOTAL HARDSCAPE & SOFTSCAPE = 4,701 SF


CUT & FILL:

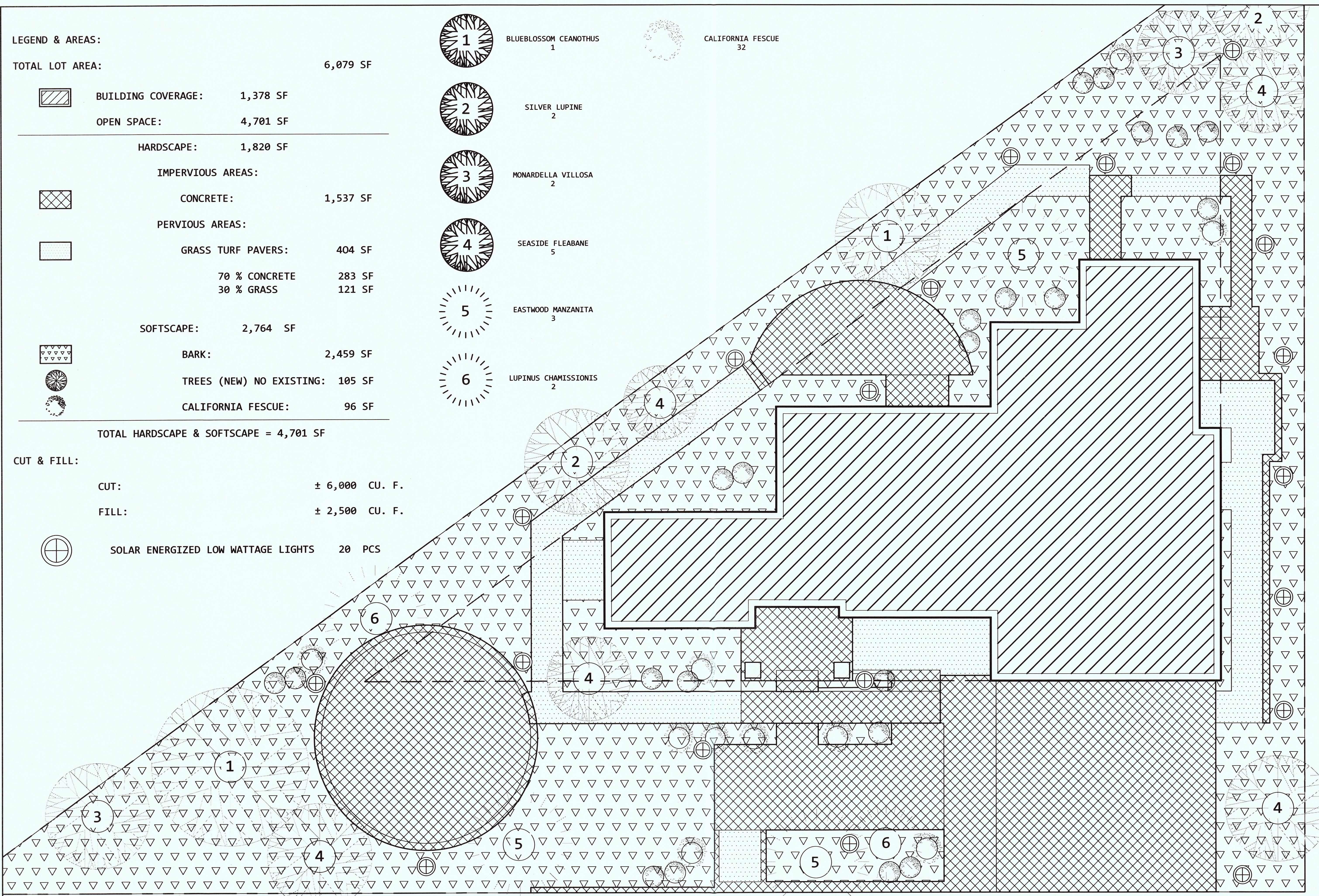
CUT: ± 6,000 CU. F.

FILL: ± 2,500 CU. F.

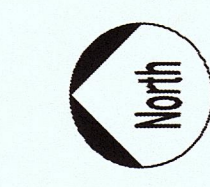
 SOLAR ENERGIZED LOW WATTAGE LIGHTS 20 PCS

-  1 BLUEBLOSSOM CEANOTHUS 1
-  2 SILVER LUPINE 2
-  3 MONARDELLA VILLOSA 2
-  4 SEASIDE FLEABANE 5
-  5 EASTWOOD MANZANITA 3
-  6 LUPINUS CHAMISSONIS 2

 CALIFORNIA FESCUE 32



1 SITE DEVELOPMENT / AREA DISTRIBUTION / LANDSCAPE
 1/4"=1'-0"



REVISIONS	BY

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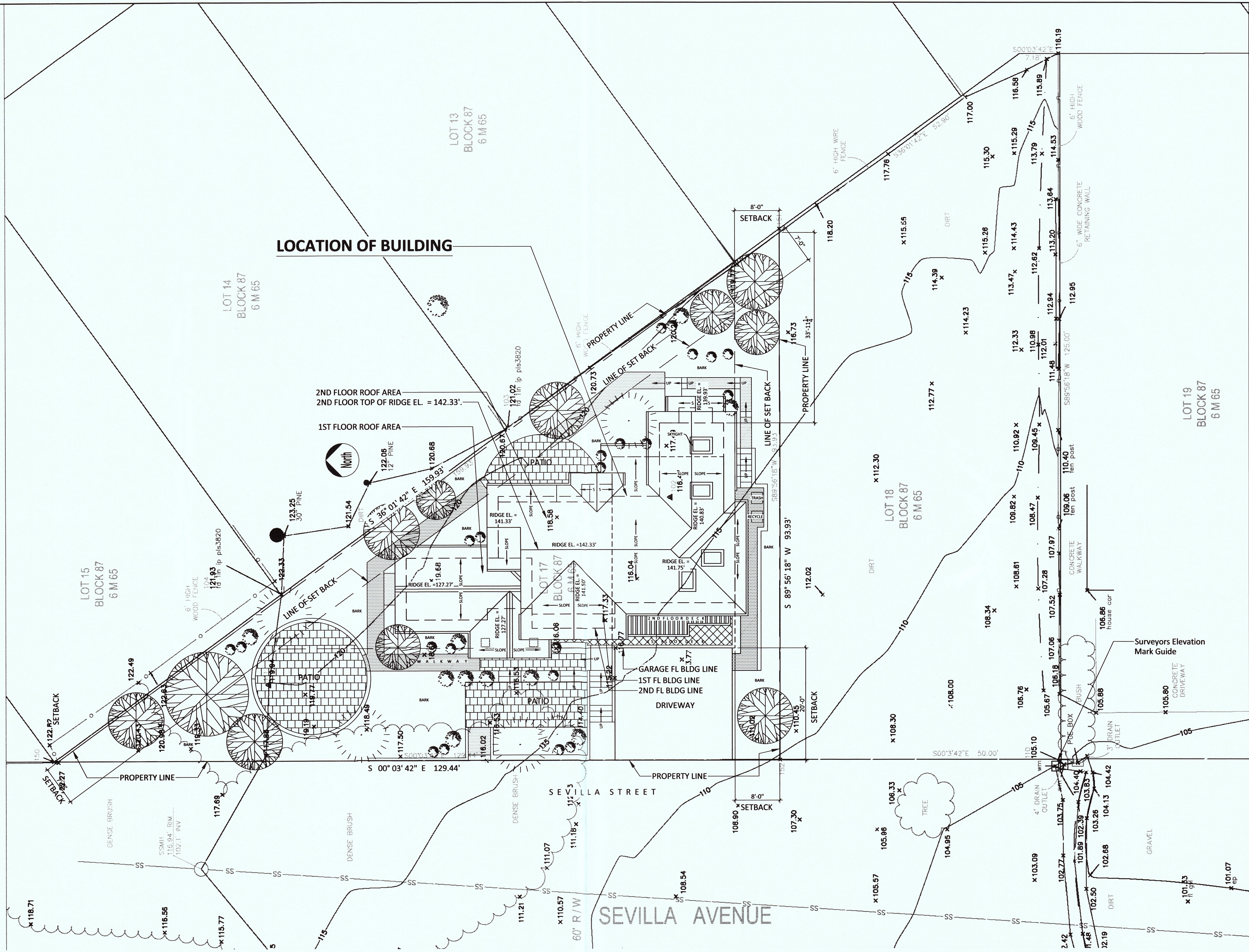
24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

**SITE DEVELOPMENT AND
 AREA DISTRIBUTION AND
 LANDSCAPE PLAN**

DATE: Jan. 7, 2016
 SCALE: AS SHOWN
 DRAWN: AFT
 SHEET:

A0.1



LOCATION OF BUILDING

2ND FLOOR ROOF AREA
2ND FLOOR TOP OF RIDGE EL. = 142.33'

1ST FLOOR ROOF AREA

1 ROOF PLAN WITH TOPOGRAPHY
1/8"=1'-0"

REVISIONS	BY

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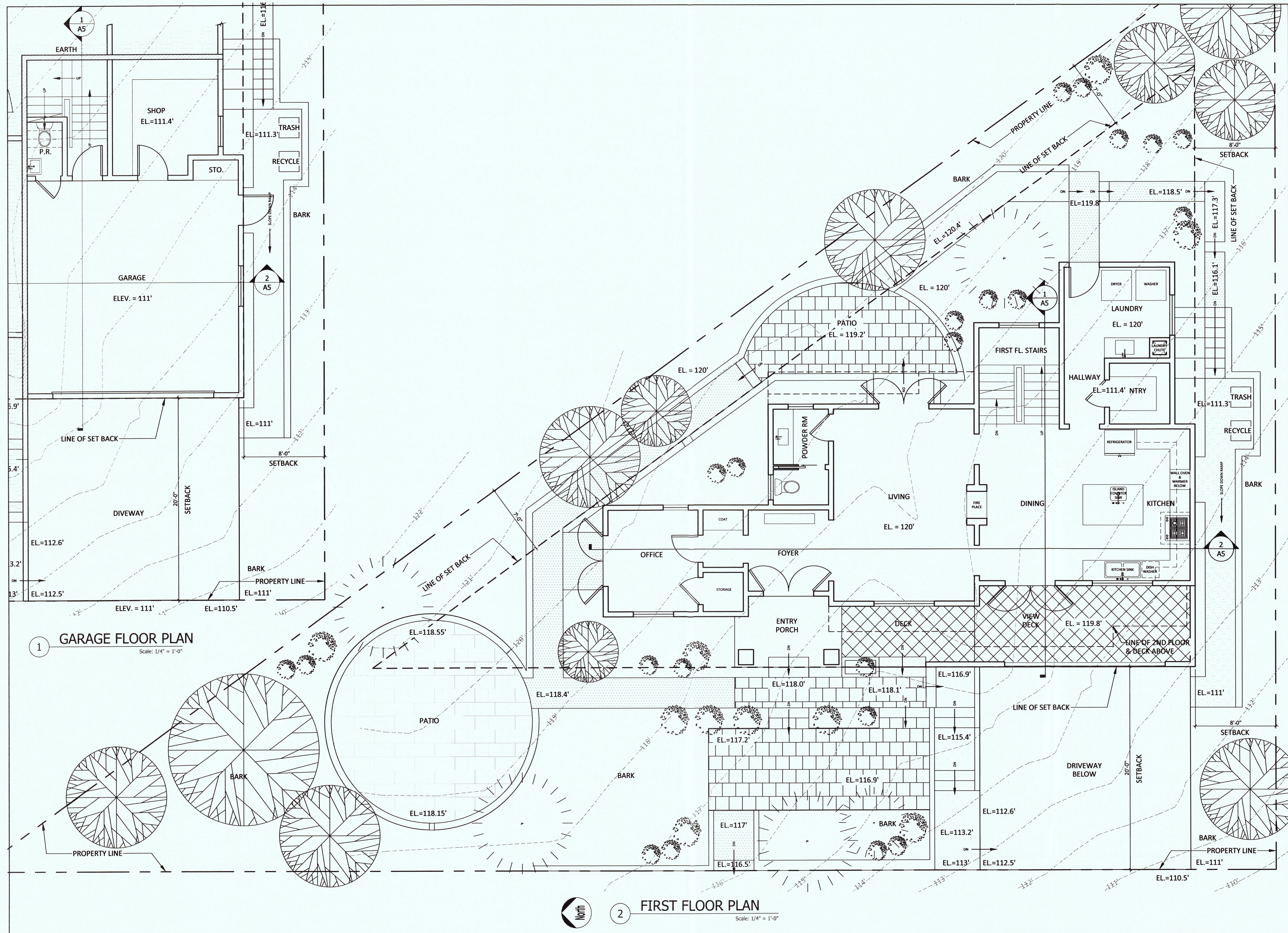
24-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
El Granada, CA. 94037

ROOF PLAN WITH TOPOGRAPHY

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
SHEET:

A0.2



REVISIONS	BY

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 EMAIL: engineers@kembcon.com



24-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

**FIRST FLOOR PLAN
 & GARAGE FLOOR PLAN**

DATE: #####
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

A1

REVISIONS	BY

KEMBCON ENGINEERS
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 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



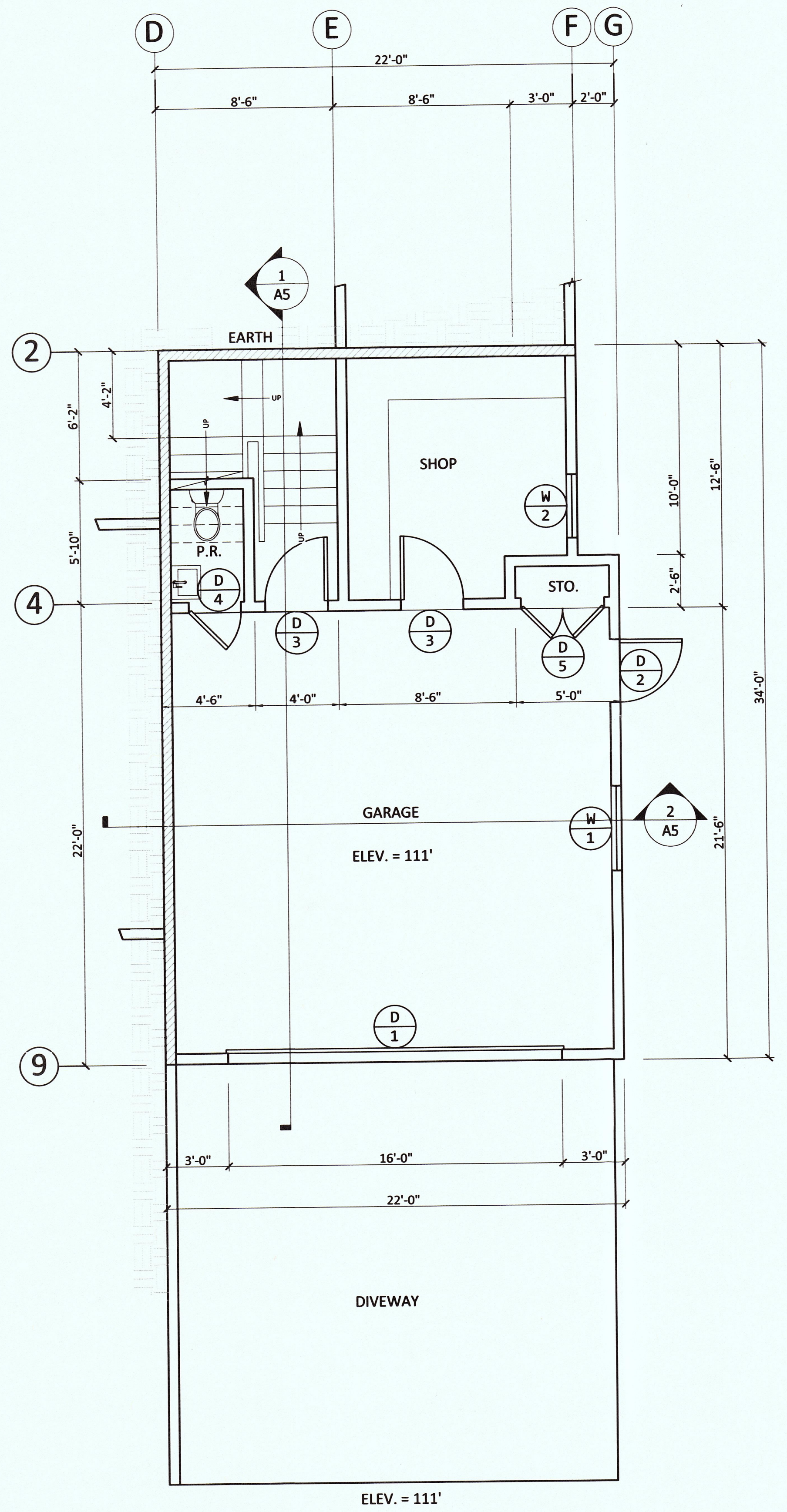
27-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

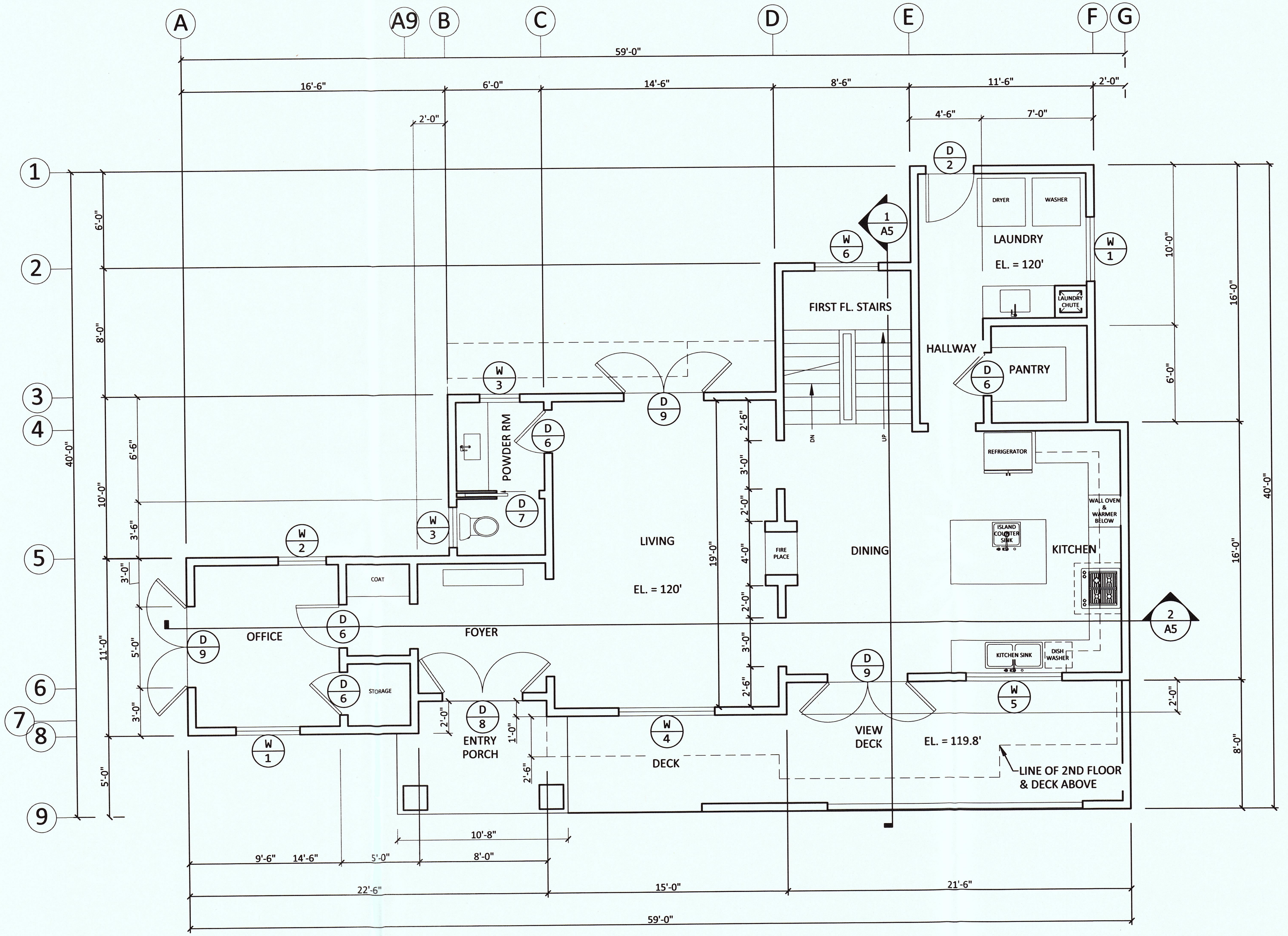
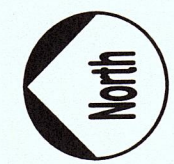
**FIRST FLOOR PLAN
 & GARAGE FLOOR PLAN**

DATE: #####
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

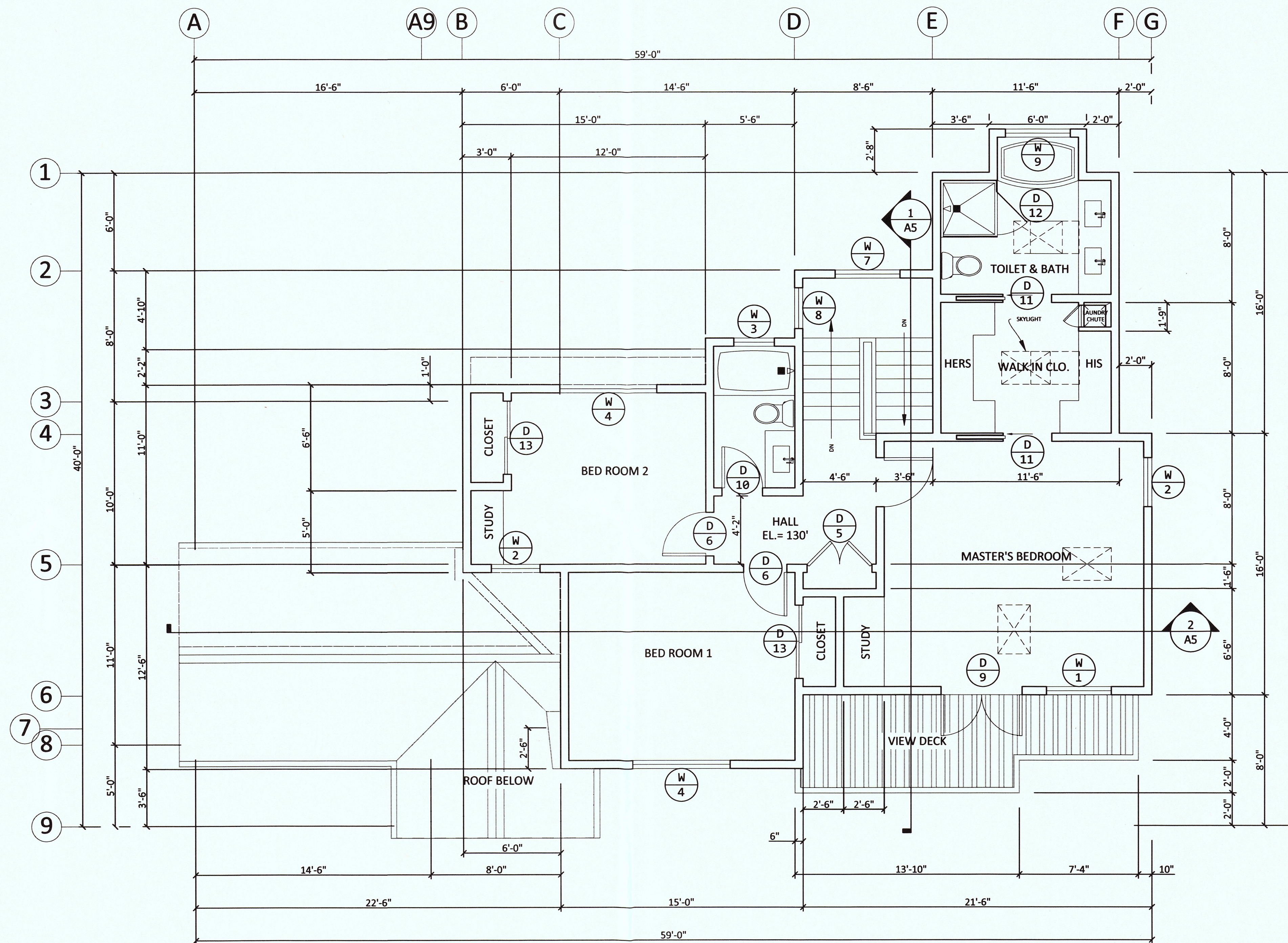
A1.1



1 GARAGE FLOOR PLAN
 Scale: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



1 SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389
 MILLBRAE, CA 94030
 VOICE 650.343.8310
 FAX 650.343.8312
 EMAIL: engineers@kembcon.com



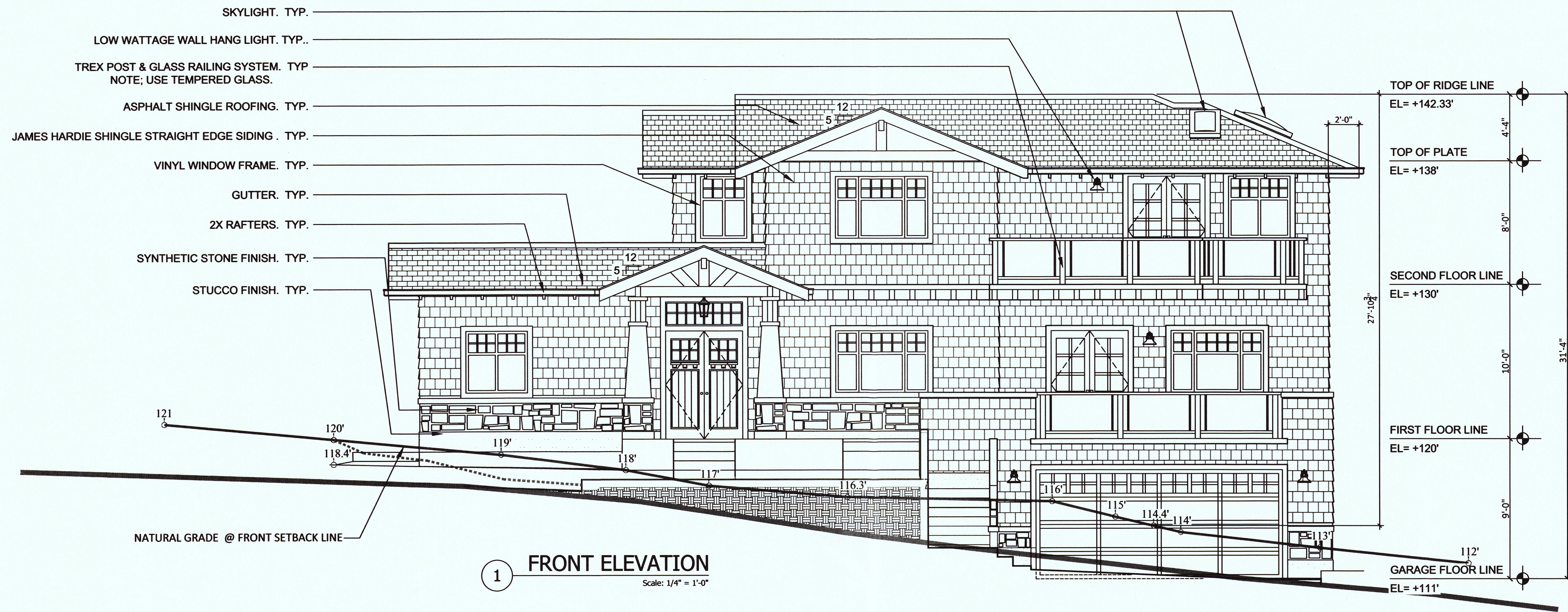
27-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

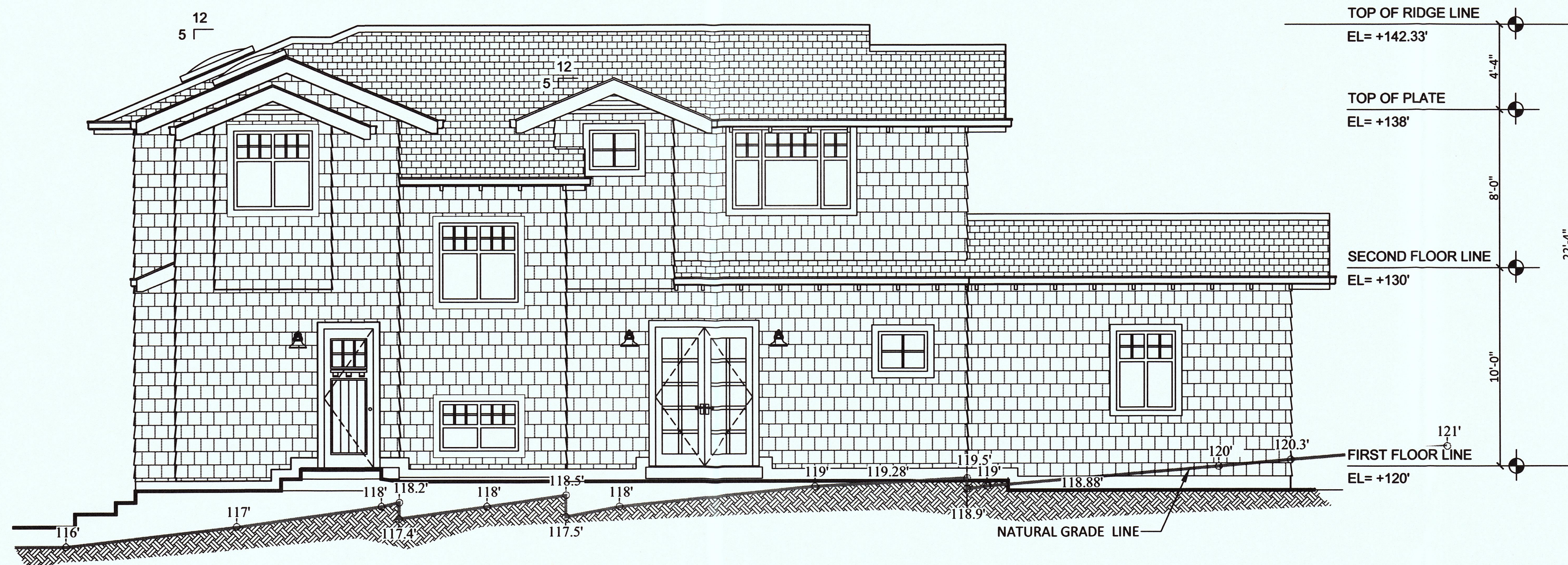
SECOND FLOOR PLAN

DATE:	#####
SCALE:	AS SHOWN
DRAWN:	AFT
JOB:	

A2



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

REVISIONS	BY

KEMBCON ENGINEERS
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MILLBRAE, CA 94030
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FAX 650.343.8312
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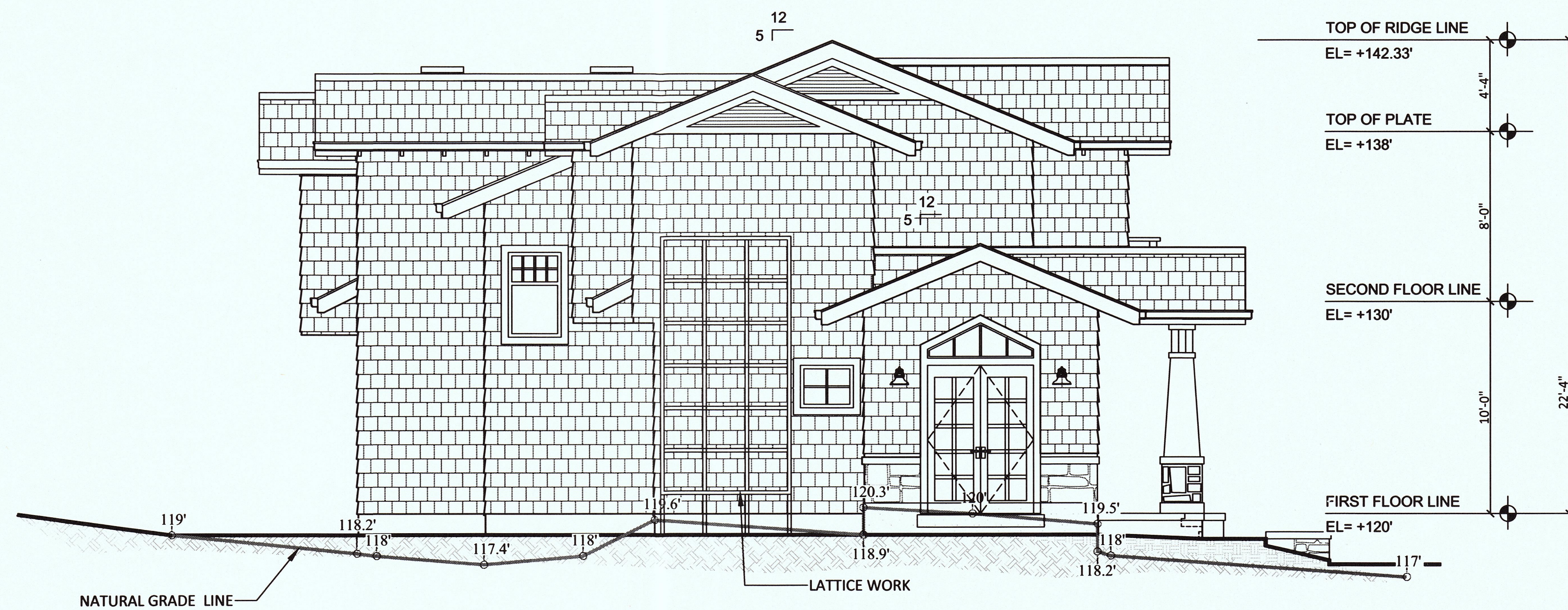
28-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
El Granada, CA. 94037

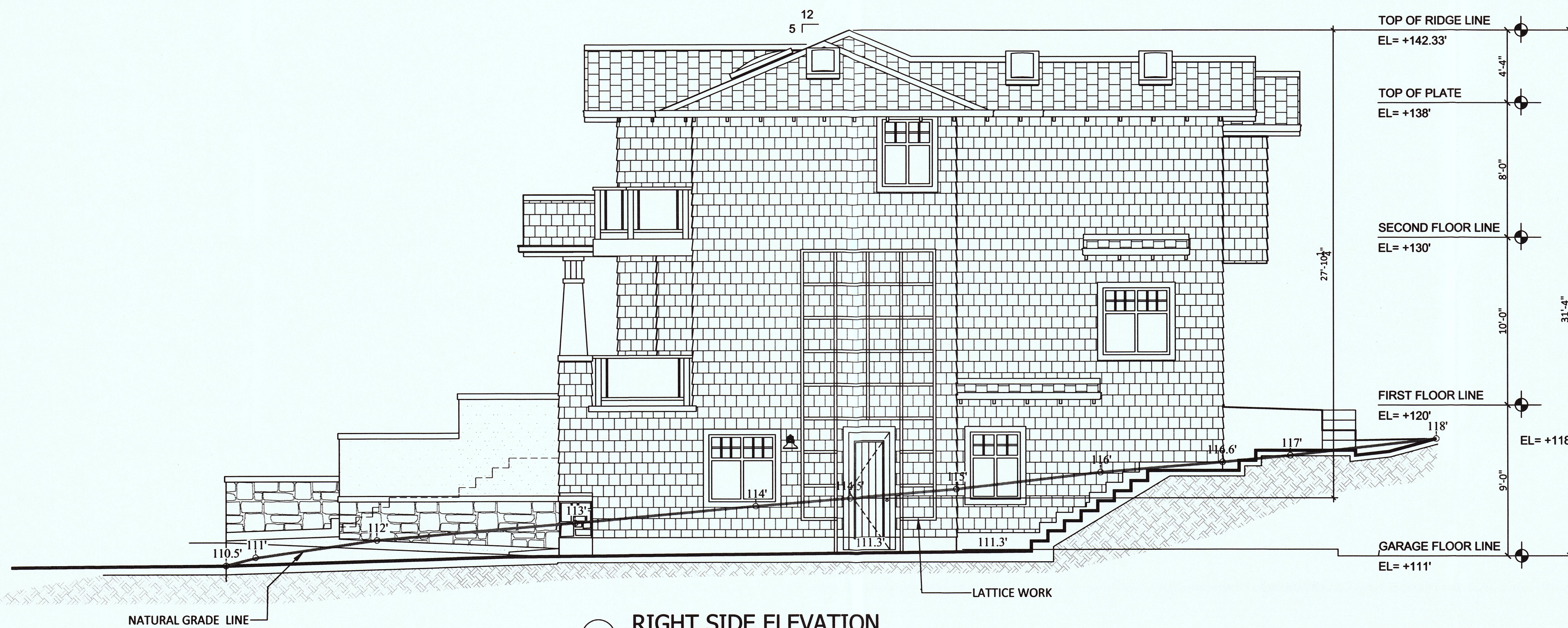
ELEVATIONS

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
JOB:

A3



1 LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

REVISIONS	BY

KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
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MILLBRAE, CA 94030
VOICE 650.343.8310
FAX 650.343.8312
EMAIL: engineers@kembcon.com



28-Mar-17

PROPOSED NEW RESIDENCE
Sevilla Avenue,
El Granada, CA. 94037

ELEVATIONS

DATE: Jan. 7, 2016
SCALE: AS SHOWN
DRAWN: AFT
JOB:

A4

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 380
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 VOICE 650.343.8310
 FAX 650.343.8312
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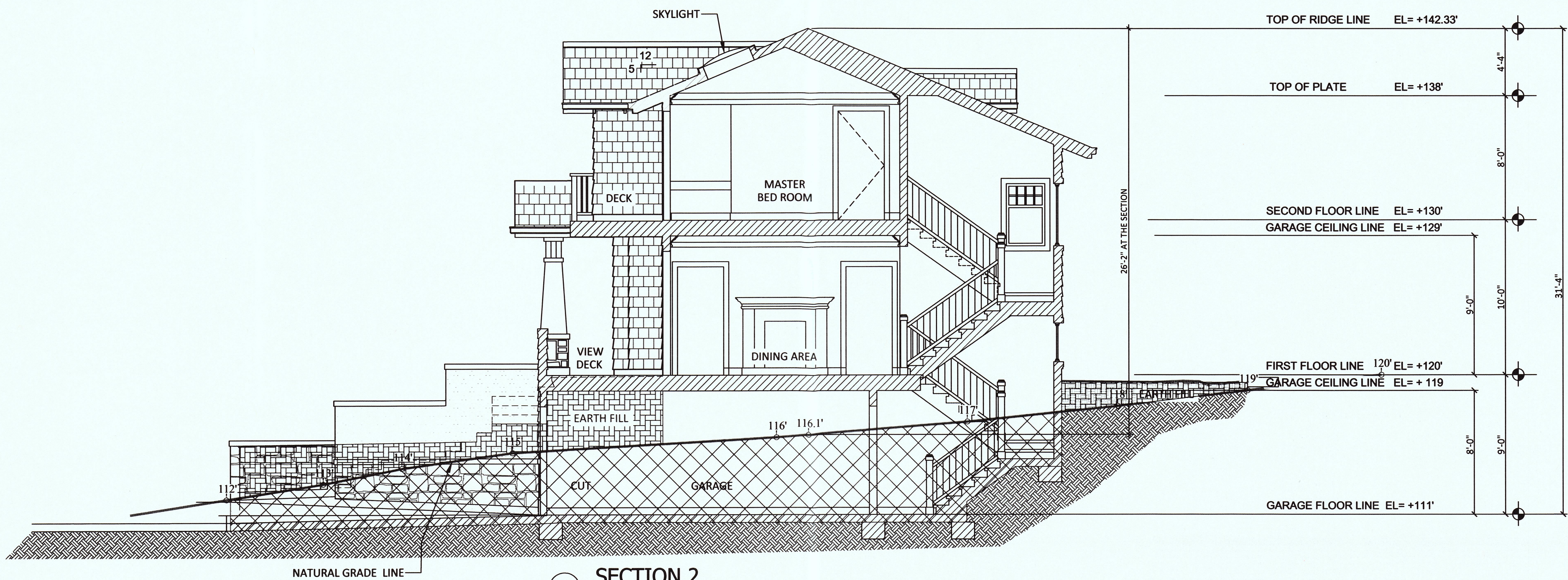
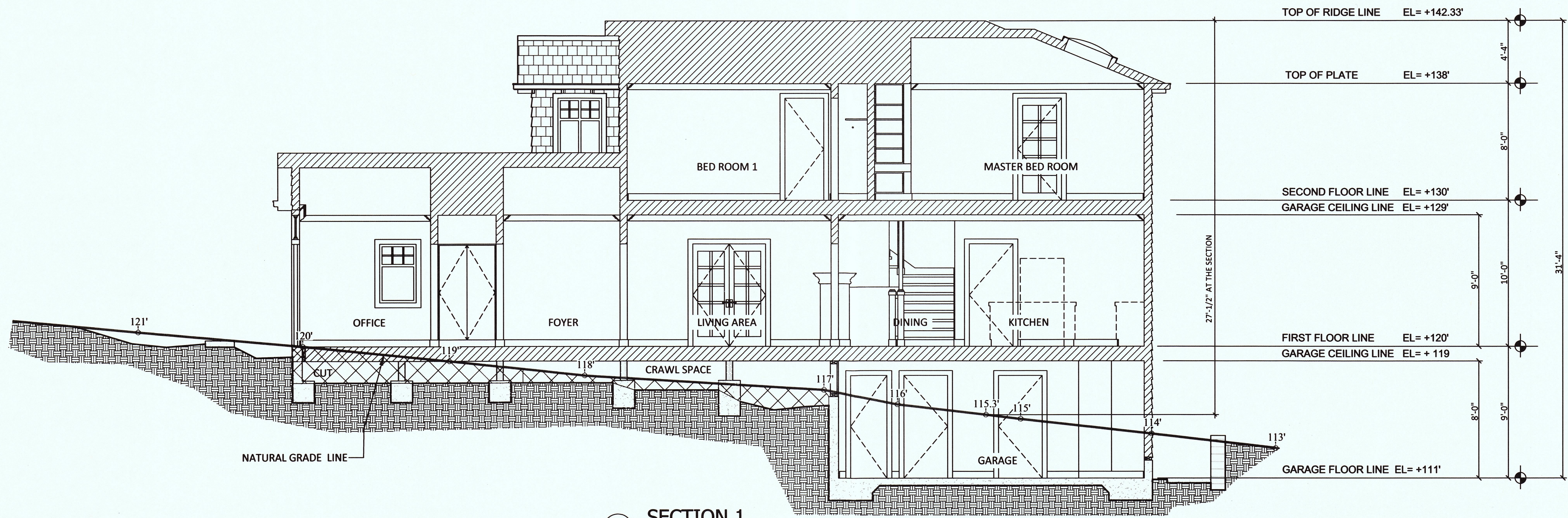
28-Mar-17

PROPOSED NEW RESIDENCE
 # Sevilla Avenue,
 El Granada, CA. 94037

SECTIONS

DATE: Jan. 7, 2016
 SCALE: AS SHOWN
 DRAWN: AFT
 JOB:

A5





ROOF SHINGLES

COLOR & MATERIALS BOARD	4
-------------------------------	---



HARDIE SHINGLE WOOD SIDING

COLOR & MATERIALS BOARD	5
-------------------------------	---



ANDERSEN WINDOWS & DOORS
SERIES 100

COLOR & MATERIALS BOARD	6
-------------------------------	---



EL DORADO ARCHITECTURAL
STONE VENEER
WEATHER EDGE

COLOR & MATERIALS BOARD	7
-------------------------------	---



STAMPED CONCRETE DRIVEWAY
AND PATIO FINISH

COLOR & MATERIALS BOARD	8
-------------------------------	---



SOLAR ENERGIZED
PATHWAY & GARDEN
LOW WATTAGE LIGHTS

COLOR & MATERIALS BOARD	9
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LOW WATTAGE WALL
HANG LIGHTS

COLOR & MATERIALS BOARD	10
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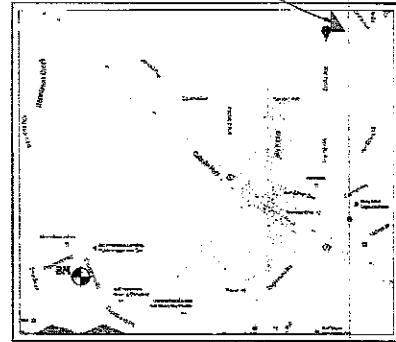


LOW WATTAGE PORCH
CEILING HANG LIGHT

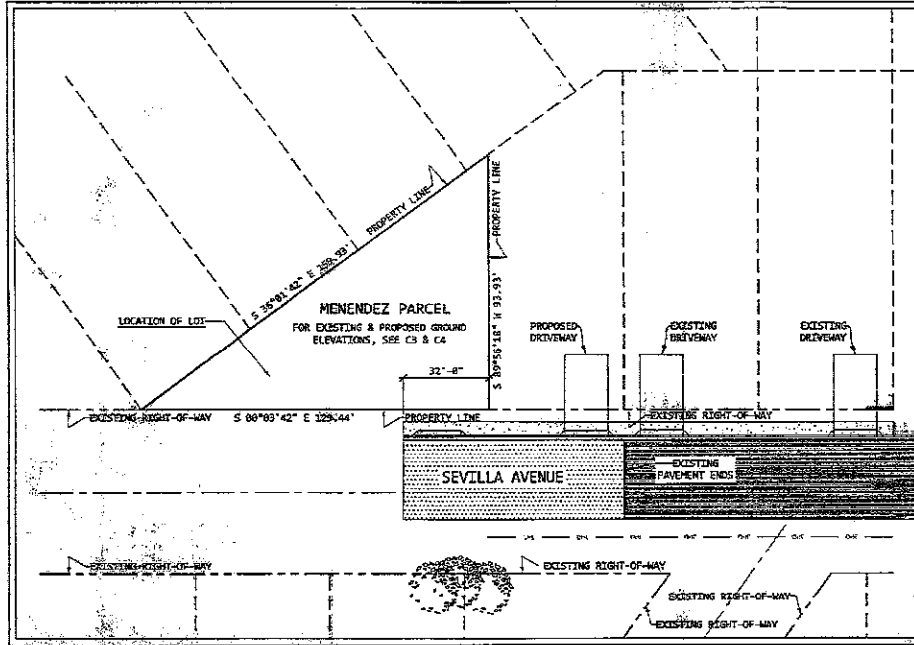
COLOR & MATERIALS BOARD	11
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OFFSITE CIVIL IMPROVEMENT PLANS FOR MENENDEZ RESIDENCE EL GRANADA CALIFORNIA

LOCATION OF LOT



2 VICINITY MAP



1 KEY PLAN
SCALE 1" = 30'-0"

LEGEND		
	EXISTING	PROPOSED
BOUNDARY LINE		
CONCRETE		
ROCK-UP-ROCK		
PAVEL LINE		
REINFORCEMENT	N/A	
SMOOTH	N/A	
GRASS, GRASS AND SEWER		
EDGE OF PAVEMENT		
CONCRETE WALKWAY OUTER	N/A	
TRENCH SHAW	N/A	
TRENCH SHAW (DRAIN)		
FORMER MAIN		
FORMER SHALE		
FORMER SHAW MAINTENANCE HOLE		
CURB INLET		
CURB INLET		
DOWN SILENT ON MAINTENANCE HOLE		
SYSTEM BRANCH FLOOR		
WATER (DRAIN)		
WATER (SERVED)		
WATER WALK		
WATER RUN OFF VALE		
DOCK FLOW PROVIDER		
DOUBLE DETECTOR CHECK WALK		
POST INDICATOR WALK (CIRCLE)		
FIRE DEPARTMENT CONNECTION		
FIRE HYDRANT		
FIRE SPRINKLER INLET		
WATER METER		
SERVICE STRAP		
CELESTIAL		
SEWER MAINTENANCE HOLE		
CELESTIAL		
SEWER (DRAIN)		
JOINT TRENCH (APPROX LOCATION)		
TRANSFORMER OFFSITE LOCATION		
OVER HEAD ELECTRICAL		
SERVICE POLE		
JOINT POLE		
JOINT POLE WITH JOINT		
TRENCH HOLE		
TELEPHONE POLE		
CELESTIAL		
CELESTIAL		
UTILITY BOX		
GRID MARK		
GRID MARK		
PROVIDER ELEVATION (PROPOSED)		
BOUNDING PIN		
TOP OF CURB ELEVATION		
ORIGINAL GROUND		
DIRECTION OF FLOW		
CONCRETE		
WALL (SEE LABEL FOR TYPE)		
FENCE (SHOWING ON VERT)		
FENCE (WALL OR HOODING)		
FENCE (WOOD OR WOODEN SONG)		
FENCE (STEEL WALL)		
TRICE ON BRUSH		
TRICE STRAP		
BOUNDING LINE		
BOUNDING WALL		
BOUNDING PRESSURE UNRELEASED		
SEWER		
PROVIDER TEST LOCATION		
IN-WALK SAMPLE LOCATION		
REINFORCING BAR		
SEWER BRANCH		

ABBREVIATIONS			
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
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69	69	69	69
70	70	70	70

PROJECT LOCATION
ADDRESS:
902701-350
SEVILLA AVENUE,
EL GRANADA

PREPARED FOR
JUAN CARLOS AND DIANE MENENDEZ

BENCH MARK
ELEVATIONS ARE BASE ON MGS HORIZONTAL "MILL 4220 TIDALS" (7/20 HORNS) (HAWKS BATH)
ELEVATION = 14.32' FROM DATA SHEET RETRIEVED 3/28/2016.
TYPICAL STATION DEEM SEE ON A LIGHT STRUCTURE 0.2 MILE SOUTHWEST OF THE INTERSECTION OF HIGHWAY 94 AND CAPEBELLA RD. IN THE TOP AND 0.9 FEET NORTHWEST OF THE SOUTH-SOUTHWEST CORNER OF THE SOUTHWEST CONCRETE BARRIALL OF A 34" CONCRETE PIPE CROSSING AND A 20 FOOT LONG RETAINING WALL, 15 FEET BATHWEST OF THE CENTERLINE OF THE ROAD, 166 FEET NORTHWEST OF THE NORTH-CORNER OF A CAPE BELLS, 16 FEET NORTHWEST OF THE SOUTHWEST END OF A STEEL GUARD RAIL, AND ABOUT LEVEL WITH THE ROAD EDGE. SEE VICINITY MAP FOR APPROXIMATE LOCATION

SHEET INDEX
C1-PROJECT INFORMATION, NOTES, KEY PLAN,
C2-NOTES & DETAILS
C3-SITE GRADING PLAN
C4-ROAD GRADING PLAN
C5-CORROSION PLAN
C6-SANITATION CONTROL PLAN
C7-DEED MANAGEMENT PRACTICES (EMP/AS)

REVISIONS

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REVISIONS

FEB 15 2016

PROJECT INFORMATION, NOTES & KEY PLAN

OFFSITE CIVIL IMPROVEMENT PLANS FOR JUAN CARLOS & DIANE MENENDEZ EL GRANADA, CA. 94037

DATE: 7 JAN 2016
SCALE: AS SHOWN
DRAWN: AT
SHEET: C1

CONTACT INFORMATION

A. REGULATORY AGENCY: COUNTY OF SAN MATEO
B. OWNER: JUAN CARLOS & DIANE HENNEZ
C. PROJECT ADDRESS: LOT 17, BLOCK 07, 0100
D. ENGINEER: KEMCON ENGINEERS
E. DESIGNER: KEMCON ENGINEERS

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

GENERAL NOTES (CONTINUE)

- 1. IMPROVE EXISTING DRIVEWAY TO MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

GRADING NOTES

- 1. EXISTING GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

GRADING NOTES (CONTINUE)

- 1. EXISTING GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

DENATURING NOTES

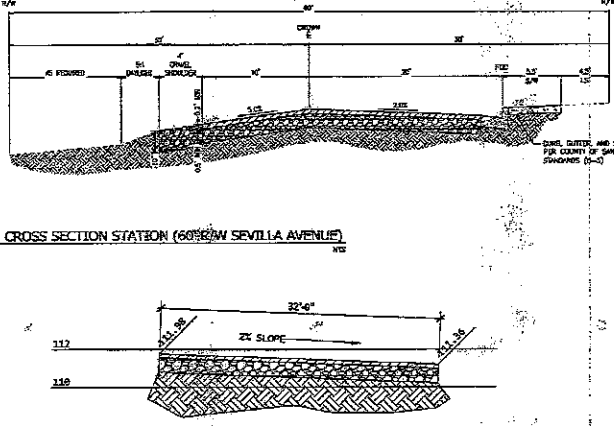
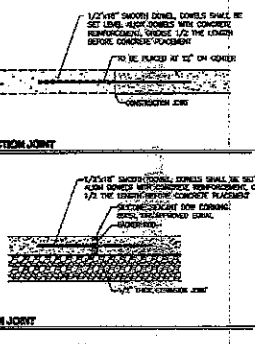
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

TOPOGRAPHY NOTES

- 1. EXISTING TOPOGRAPHY SHALL BE MAINTAINED UNLESS OTHERWISE NOTED...
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES...

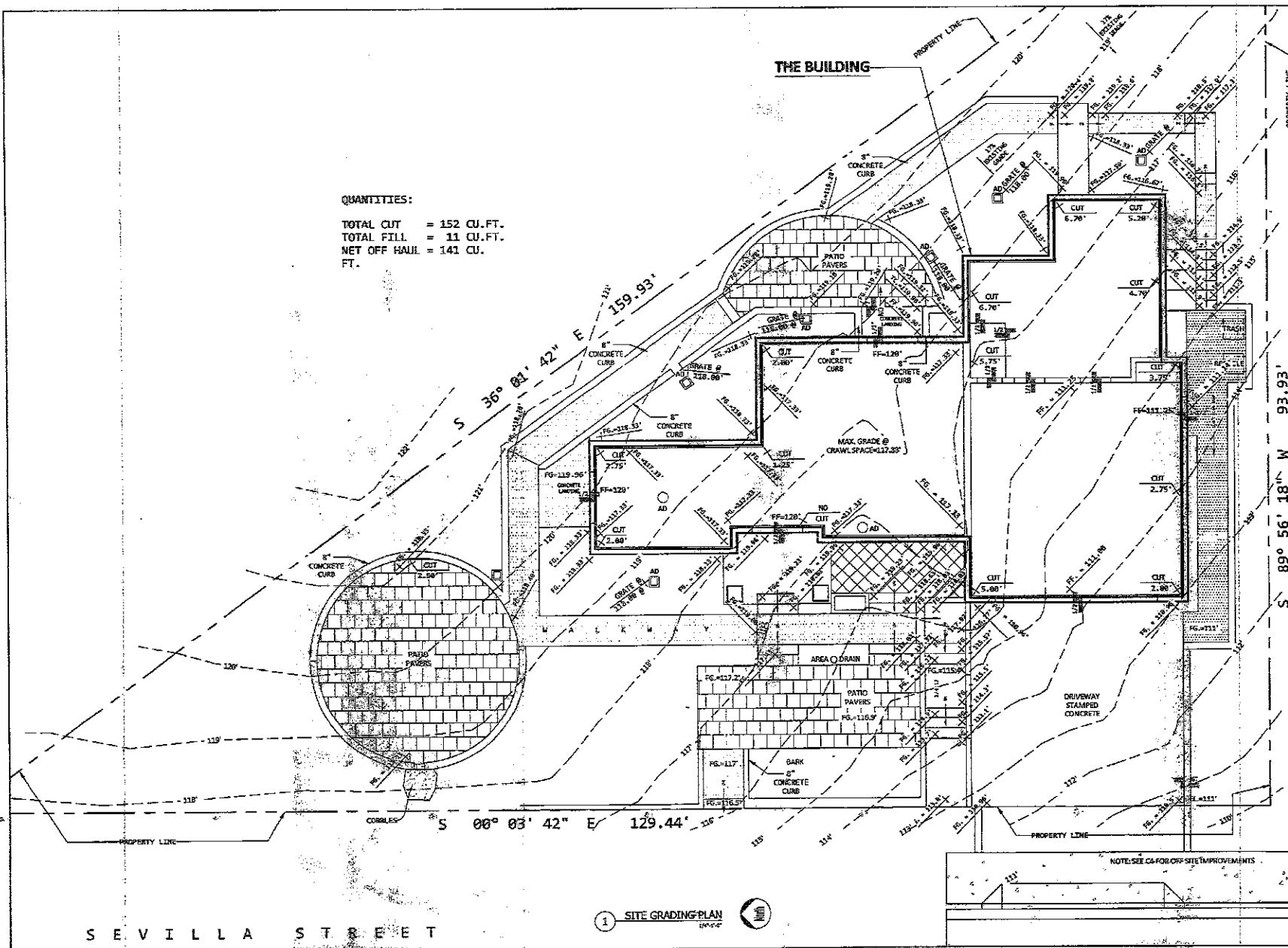
COUNTY OF SAN MATEO STANDARD DETAILS

- 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE BEST UP TO DATE COUNTY OF SAN MATEO STANDARD FOR INTERSECTION...
2. THE LATEST COPY OF THE COUNTY OF SAN MATEO STANDARD SHALL BE CONSULTED FOR THIS PLAN SET...
3. IN THE EVENT OF A DISCREPANCY BETWEEN THIS PLAN SET AND COUNTY STANDARD, THE COUNTY STANDARD SHALL PREVAIL...



SEVILLA AVENUE ROAD PROFILE AT CENTER LINE

REVISIONS table, PROJECT NOTES & DETAILS, OFFSITE CIVIL IMPROVEMENT PLANS FOR JUAN CARLOS & DIANE HENNEZ, EL GRANADA, CA, 94037, DATE: 7 JAN. 2015, SCALE: AS SHOWN, DESIGNER: AT, SHEET: C2



QUANTITIES:
 TOTAL CUT = 152 CU.FT.
 TOTAL FILL = 11 CU.FT.
 NET OFF HAUL = 141 CU.
 FT.

SEVILLA STREET

1 SITE GRADING PLAN
 1/8" = 1'-0"

THE BUILDING

REVISIONS	BY

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 10150 N. GARDEN AVENUE
 SUITE 100
 DANA POINT, CA 92629
 TEL: 949.441.1111
 FAX: 949.441.1112
 www.kemcon.com

FEB 2 1 2017



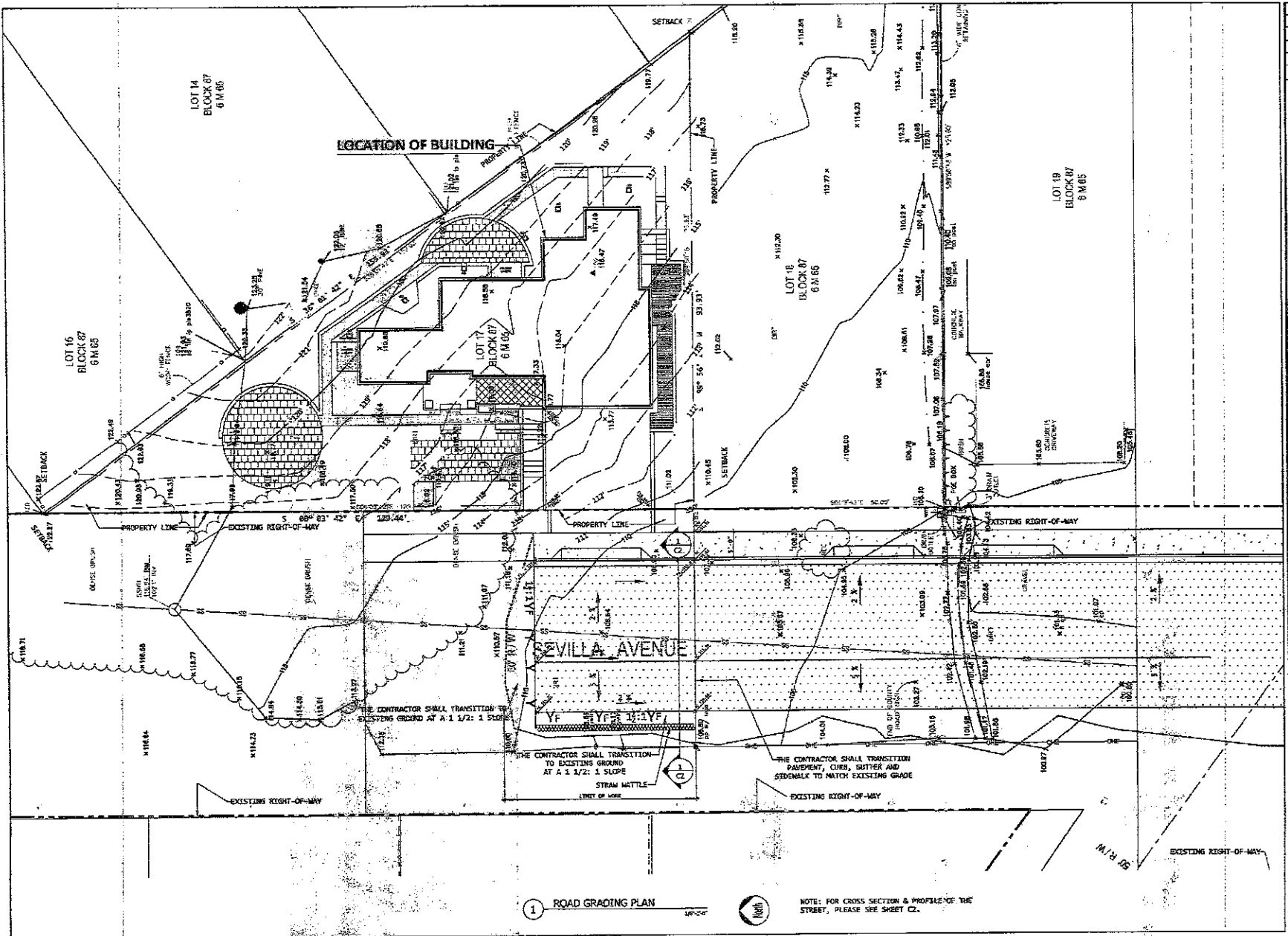
SITE GRADING PLAN

PROPOSED NEW RESIDENCE
 SEVILLA AVE.
 EL GRANADA, CA. 94037

DATE: 7 JAN. 2016
 SCALE: AS SHOWN
 DRAWN: AT
 SHEET:

C3

NOTE: SEE C4 FOR OFF-SITE IMPROVEMENTS



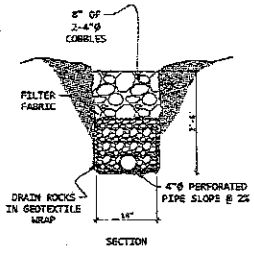
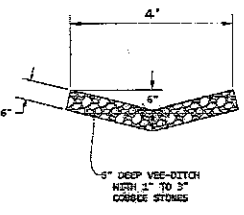
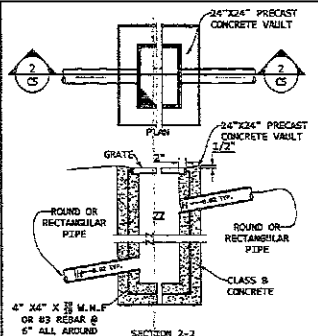
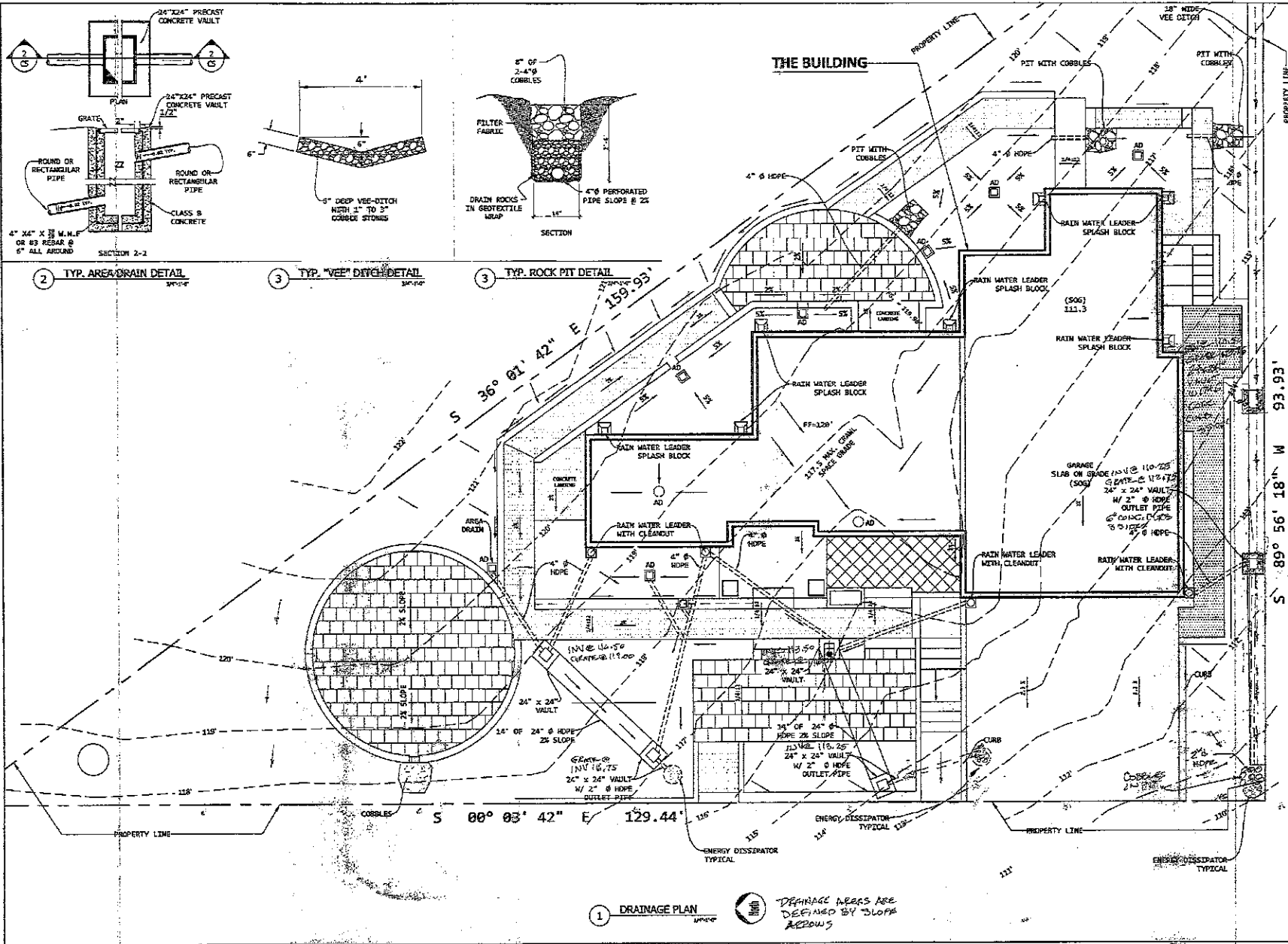
1 ROAD GRADING PLAN



NOTE: FOR CROSS SECTION & PROFILE OF THE STREET, PLEASE SEE SHEET C2.

REVISIONS	BY

KEMBCON ENGINEERS CIVIL AND STRUCTURAL ENGINEERS 11111 N. 111TH AVENUE, SUITE 100 HULLHALL, CA 94508 TEL: 925.221.1111 FAX: 925.221.1112 E-MAIL: kem@kembcon.com	
FEB 16 2016 	
ROAD GRADING PLAN	
PROPOSED NEW RESIDENCE SEVILLA AVE. EL GRANADA, CA. 94037	
DATE:	7 JAN. 2016
SCALE:	AS SHOWN
DRAWN AT:	
SHEET:	C4



2 TYP. AREA DRAIN DETAIL
M-10-17

3 TYP. "VEE" DITCH DETAIL
M-10-17

3 TYP. ROCK PIT DETAIL
M-10-17

1 DRAINAGE PLAN
M-10-17

DRAINAGE DEGS ARE DEFINED BY SLOPE ARROWS

REVISIONS	BY



PROPOSED NEW RESIDENCE
SEVILLA AVE.
EL GRANADA, OR. 97407

PROPOSED NEW RESIDENCE
SEVILLA AVE.
EL GRANADA, OR. 97407

DATE: 7 JAN. 2016
SCALE: AS SHOWN
DRAWN: AT
SHEET:

C5

April 24, 2017

Eric Cox
Kembcon Engineers
P.O. Box 389
Millbrae, CA 94030

Dear Mr. Cox:

SUBJECT: Coastside Design Review Recommendation of Approval
Sevilla Avenue, El Granada
APN 047-071-260; County File No. PLN 2016-00153

At its meeting of April 13, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review recommendation to allow construction of a new 2,909 sq. ft. single-family residence, including a 728 sq. ft. two-car garage and shop area, on a 6,079 sq. ft. parcel and an approximately 32-foot 8-inch roadway extension of Sevilla Avenue (30 feet wide) to serve the project. The project involves minor grading and no tree removal.

The project is a part of a hearing-level Coastal Development Permit (CDP) and Certificate of Compliance (COC Type B) to confirm parcel legal status. The CDP is appealable to the California Coastal Commission.

Based on the plans, application forms and accompanying materials submitted, the Coastside Design Review Committee, in a vote of 2-0, recommended approval of your project based on and subject to the following findings and recommended conditions:

FINDINGS

The Coastside Design Review Officer found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of one single-family residence in a residential zone.



The Coastsides Design Review Committee found that:

2. For the Design Review

The project, as proposed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 1. Integrate Structures with the Natural Setting; b. Grading; Standard (1): Minimize filling or placement of earth materials. The project minimizes raising the building pad for the new home above the existing grade.
- b. Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 2. Compliment Other Structures in the Neighborhood; a. Privacy; Standard (1): The project locates, orients and designs windows, entrances, deck and balconies to minimize and mitigate direct views into neighboring houses and outdoor decks/patios.
- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale; Standard (1): The proposed design of the new house includes roof forms, shape and form, building dimensions, facade articulation, and architectural details, such as a rectangular bay and balconies, that are proportional and complementary to other homes in the neighborhood.
- d. Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; c. Entries; Standard (1): Front Doors – The front entry is on a scale compatible with the other features of the proposed house and maintains a residential appearance.

RECOMMENDED CONDITIONS

Current Planning Section

1. The project shall be constructed in compliance with the approved plans (once final approval is received) and as reviewed by the Coastsides Design Review Committee on April 13, 2017. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial

consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.

2. The applicant shall demonstrate compliance with the following requirements on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee:

Requirements:

- a. Replace bark with wild grass seed in landscape areas.
- b. Use permeable pavers in lieu of stamped concrete, for all patios (at a minimum).
- c. Use a maximum of one exterior light per door except for the garage where two lights is acceptable per the proposed design.
- d. Add a belly band to right-side elevation at the same height as the second level deck.

Recommendations:

- a. Choose a window color other than white.
 - b. Remove lattice.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction

- plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
- d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. Projects subject to Provision C.3.i (individual single-family home projects that create and/or replace 2,500 square feet or more of impervious surface, and other projects that create and/or replace at least 2,500 square feet of impervious surface but are not C.3 Regulated Projects) shall implement at least one of the six site design measures listed below:
- a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.

- f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

- I. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works and the Coastside Fire Protection District.
9. No site disturbance shall occur, including any grading, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Sevilla Avenue. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Sevilla Avenue. There shall be no storage of construction vehicles in the public right-of-way.
11. The exterior color samples submitted to the CDRC are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
 12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
 13. Installation of the approved landscape plan is required prior to final inspection.
 14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- a. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
- b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

- c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
- d. Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
- e. Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

Geotechnical Section

- 15. The applicant shall submit a soils report with the building permit application.

Coastside County Water District (CCWD)

- 16. The project is required to comply with CCWD's Indoor Water Use Efficiency Ordinance which includes regulations on water metering and water use efficiency specifications for plumbing fixtures and appliances. CCWD staff performs inspections to verify compliance with all district regulations during and after construction.
- 17. If fire sprinklers are required by Coastside Fire Protection District, fire sprinklers are served from a separate fire service water connection with a separate fire meter. Please note that CCWD does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection. There shall be no cross connections and approved backflow protection is required.
- 18. CCWD requires a full set of the most current building and fire plans for water service review and approval.
- 19. Before issuance of a building permit, the CCWD will need to evaluate a complete set of building plans to determine if the water service capacity available is adequate for this development and complies with all CCWD regulations.

Coastside Fire Protection District

20. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastsjde Fire District Ordinance 2013-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. Smoke detectors shall be tested and approved prior to the building final.
21. Add note to plans: Smoke alarms / detectors are to be hardwired, interconnected, or with battery back-up. Smoke alarms are to be installed per manufacturer's instruction and NFPA 72.
22. Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 sq. ft., 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.
23. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
24. Attached garage to meet occupancy separate requirements. Provide note/detail. CRC R302.5/R302.6
25. Address Numbers: As per Coastside Fire District Ordinance 2013-03, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be **4 inches** in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6-inch by 18-inch green reflective metal sign with 3-inch reflection Numbers/Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.
26. Add the following note to the plans: New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from

the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway / roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective numbers / letters similar to Hy-Ko 911 or equivalent.

27. Roof Covering: As per Coastside Fire District Ordinance 2013-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
28. Vegetation Management: The Coastside Fire District Ordinance 2013-03, the 2013 California Fire Code, and the Public Resources Code 4291:
 - a. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area), the fuel break is 100 feet or to the property line.
 - b. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
 - c. Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
29. Add the following note to plans: The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arrestors shall be construction of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2-inch.
30. Add the following note to the plans: A fuel break or defensible space is required around the perimeter of all structures, existing and new, to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
31. Add the following note to the plans: Tree located within defensible space shall be pruned to remove dead and dying portions, and limbed up to 6 feet above the

ground. New trees planted in defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.

32. Add the following note to the plans: Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
33. Fire Access Roads: the applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2013-03, and the California Fire Code shall set road standards. As per the 2013 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2013 CC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use. Existing turnaround be need to be improved.
34. "No Parking – Fire Lane" signs shall be provided on both sides of roads 20 to 26 feet wide and on one side of roads 26 to 2 feet wide. CC D103.6
35. Fire Hydrant: As per 2013 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 250 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2013 CFC, Appendix B, the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
36. Show location of fire hydrant on a site plan. A fire hydrant is required within 250 feet of the building and flow a minimum of 1000gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/Cal-Fire or Coastside Fire District. If there is not a hydrant within 250 feet with the required flow, one will have to be installed at the applicant's expense.

37. Automatic Fire Sprinkler System: As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2013-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathroom. The only exception are small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department or the City of Half Moon Bay. A building permit will not be issued until plans are received, reviewed, and approved. Upon submission of the plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
38. Installation of underground sprinkler pipe shall be flushed and visually inspected by the Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
39. Exterior Bell and Interior Horn / Strobe: Are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn / strobe and flow switch, along with the garage door opener, are to be wired into a separate circuit breaker at the main electrical panel and labeled.
40. Add note to the title page that the building will be protected by an automatic fire sprinkler system.
41. All fire conditions and requirements must be incorporated into your building plans (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.

Department of Public Works

42. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state.

Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

43. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access from the nearest "publicly" maintained roadway to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

All drainage and stormwater requirements apply to the roadway and shall be included in the design and reviewed by the Department of Public Works. Applicant shall coordinate these plans with the adjoining property owner's plans to ensure a smooth, continuous, and safe roadway.

44. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
45. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
46. Erosion and sediment control during the course of this grading work shall be according to a plan prepared and signed by the Engineer of Record, and approved by the Department of Public Works and the Planning Department. Revisions to the approved erosion and sediment control plan shall be prepared and signed by the Engineer.

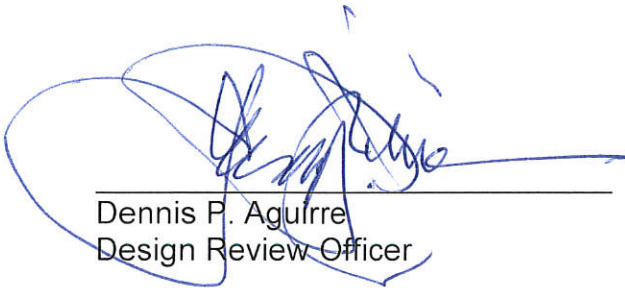
Granada Community Services District

47. A sewer mainline facility to serve the project parcel on Sevilla Avenue. The applicant must obtain a sewer connection permit.

Please note that the decision of the Coastside Design Review Committee is a recommendation regarding the project's compliance with design review standards, not the final decision on this project, which requires a hearing-level Coastal Development Permit (CDP) and Certificate of Compliance (COC Type B). The public hearing for the CDP and COC Type B will take place at a later date. For more information, please contact the project planner, Camille Leung, at 650/363-1826, or by email at cleung@smcgov.org.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

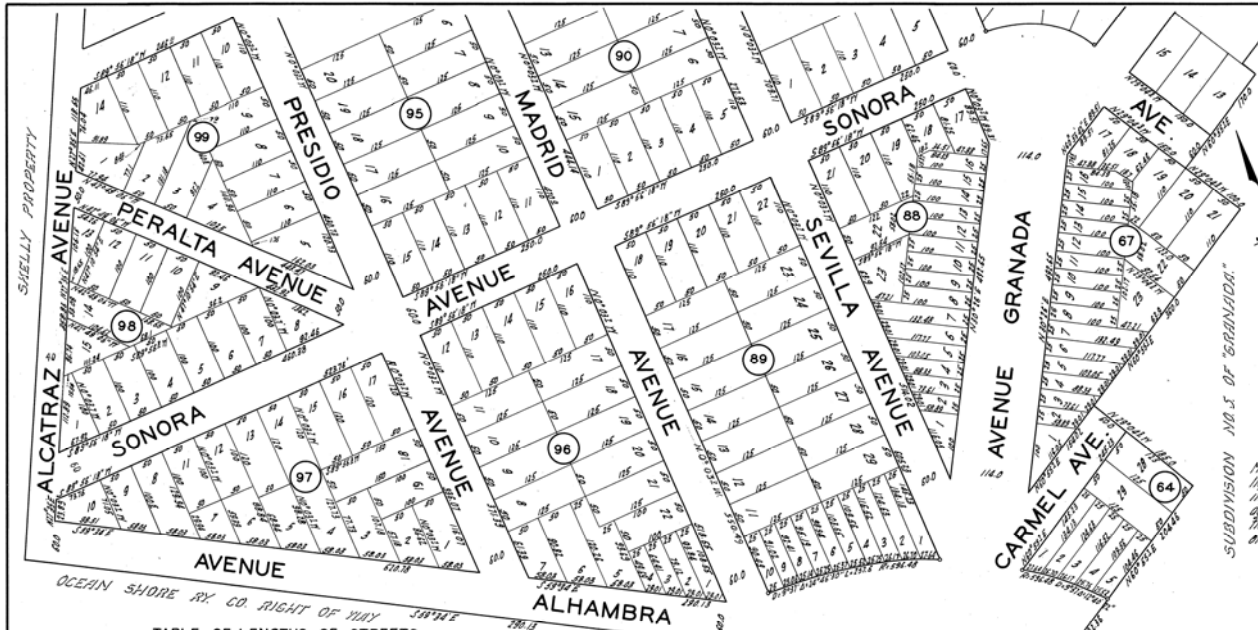
Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:CML:aow – CMLBB0200_WAN.DOCX

cc: Stuart Grunow, Member Architect
Doug Machado, El Granada Alternate Community Representative
Chris Johnson, El Granada Community Representative
J.C. Menendez Barrera & Diane Menendez, Property Owners
Matt Sanders, Interested Member of the Public



I, the undersigned, hereby consent to the platting of these certain lands situate in the County of San Mateo, State of California, being the lands embraced within the lines as shown upon the map or plat thereof to which this consent is affixed, and I hereby join in and consent to the dedication of the respective parcels of ground marked and delineated upon said plat and set aside for streets, avenues, and public places, as shown upon said map or plat, to and for the use of the public.
 WITNESS my hand and seal this 21st day of May, 1908.
 A. Barfano.

State of California }
 County of San Mateo } ss.
 On this 21st day of May in the year A.D. 1908, before me, Jno. Pitcher a Notary Public in and for said state and County, personally appeared Angelo Barfano, known to me to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same.
 Witness my hand and official seal the day and year in this certificate first above written.
 (S.C.A.L.) Jno. Pitcher
 Notary Public in and for the County of San Mateo, State of California.

State of California }
 County of San Mateo } ss.
 I, R.H. Underhill County Auditor in and for the County of San Mateo, State of California, do hereby certify that there are no liens for unpaid State County, municipal or other taxes, excepting taxes for the year 1908, second installment, not yet payable, against the real property said tract or parcel of land, or any part thereof, as shown within as described upon the plat or map to which this certificate is attached.
 WITNESS my hand and official seal this 4 day of June, A.D. 1908.
 R.H. Underhill
 County Auditor, in and for the County of San Mateo, State of California.

Filed at request of The Abstract of Title Company of San Mateo Co. June 7th A.D. 1908 at 3:35 min. past 3 o'clock P.M. San Mateo County Records.
 J.F. Johnston - County Recorder
 by Pauline E. Hansen - Deputy

I hereby certify this to be a true copy of an original map recorded in Map Book 6 at page 65.
 Geo. A. Johnson
 County Surveyor and Ex officio Deputy County Recorder of Maps

PLAT OF
 SUBDIVISION NO. 8.
 OF
GRANADA
 SAN MATEO COUNTY CALIFORNIA
 SCALE 1 INCH=100 FT.

Plat of Subdivision No. 8 - Granada - Sheet 1 of 2 - Book 6 Page 65.

TABLE OF LENGTHS OF STREETS

STREET	SIDE	FROM	TO	LENGTH
ALHAMBRA	NLY SIDE	BOUNDARY LINE SLY	NLY SIDE ALCATRAZ	1213.97
	Ely	Sly BOUNDARY LINE	Ely "	1323.75
SONORA	NLY "	Sly "	Ely "	1027.80
PERALTA	NLY "	NLY SIDE SONORA	Ely "	411.92
	Ely	NLY SIDE PRESIDIO	Ely "	401.91
ESCONDIDA	NLY "	NLY "	Ely "	709.51
	Ely	NLY "	Ely "	771.95
MADRONA	NLY "	NLY - BERNARDA	NLY - MADRID	700.25
	Ely	NLY - SEVILLA	NLY - "	805.50
SAN CARLOS	NLY "	NLY - MONTECITO	Ely - ALCATRAZ	1442.15
	Ely	NLY - "	Ely - VALENCIA	1422.19
BALBOA	NLY "	NLY - "	NLY - VALENCIA	2775.52
	Ely	NLY - "	Ely - ALHAMBRA	400.50
VALENCIA	NLY "	NLY - PALOMA	Ely - BALBOA	821.97
	Ely	NLY - MONTECITO	Sly - BALBOA	592.26
MONTECITO	NLY "	CENTER LINE VALENCIA	NLY - SAN CARLOS	752.42
	Ely	NLY "	Sly "	848.09
BERNARDA	NLY "	NLY - BERNARDA	NLY BOUNDARY LINE	871.52
	Ely	NLY - "	Ely "	849.95
GRANADA	NLY "	NLY - CARMEL	NLY SIDE SAN CARLOS	3128.99
	Ely	NLY - ALHAMBRA	CENTER LINE	2118.99
	Ely	NLY SIDE SEVILLA	Ely SIDE EL DORADO	1458.80
SEVILLA	NLY "	NLY SIDE BERNARDA	Sly - ALCATRAZ	2124.91
	Ely	NLY - ALHAMBRA	CENTER LINE	2164.91
	Ely	NLY SIDE ALHAMBRA	Ely SIDE "	2024.81
MADRID	NLY "	NLY "	Ely - "	1471.81
	Ely	NLY - "	Ely - "	1470.80
PRESIDIO	NLY "	NLY - "	Ely - "	119.91
	Ely	NLY - "	Ely - "	1248.91
	Ely	NLY - "	Ely - "	1095.40
PALOMA	NLY "	NLY - BERNARDA	NLY - VALENCIA	468.85
	Ely	NLY - BERNARDA	CENTER LINE	710.90
	Ely	NLY - BERNARDA	NLY BOUNDARY LINE	468.91
JACARANDA	NLY "	NLY - BERNARDA	NLY SIDE VALENCIA	468.85
	Ely	NLY - SEVILLA	Ely "	477.85
EL DORADO	NLY "	NLY - SEVILLA	NLY - SAN CARLOS	248.19
	Ely	NLY - BERNARDA	Ely - BERNARDA	248.19
ALCATRAZ	NLY "	NLY - ALHAMBRA	NLY BOUNDARY LINE	3717.91
	Ely	NLY - "	Ely "	1767.91

KINDLY ALL MEN BY THESE PRESENTS:
 That the SHORE LINE INVESTMENT COMPANY, a corporation under the Laws of the State of California, the owner of the real property set forth in the map or plat upon which this certificate is endorsed, said real property being situate in the County of San Mateo, State of California, hereby consents to the making of said plat or map in the manner and form set forth therein and thereby, and that the land embraced within the boundaries of said plat or map, as described therein, shall be hereafter referred to and known as "GRANADA." That all of said real property embraced within and shown or marked upon said map or plat as streets, avenues, alleys and highways are hereby dedicated to the public for public use. Said SHORE LINE INVESTMENT COMPANY further certifies that it is the owner of the fee simple title to said real property, that the same is unencumbered, owing and excepting the taxes for the year 1908, not yet due or payable.
 IN WITNESS WHEREOF the SHORE LINE INVESTMENT COMPANY has caused this certificate to be made, for and on its behalf by its President, duly affected by its Secretary, and the seal of the said corporation affixed, this day of May, A.D. 1908.
 ATTEST: J.M. Croucher (SEAL) SHORE LINE INVESTMENT COMPANY
 Not. Secretary by J. Donney Harvey - President.

State of California }
 City and County of San Francisco } ss.
 On this 24th day of May A.D. 1908, before me, Nathan Brady, a Notary Public in and for said City and County, personally appeared J. Donney Harvey, known to me to be the President of the SHORE LINE INVESTMENT COMPANY, the corporation that executed the within instrument, and acknowledged to me that such corporation executed the same.
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.
 Nathan Brady
 Notary Public in and for the City and County of San Francisco, State of California.
 (Seal).

