

KOLLAR-GASIEWSKI RESIDENCE

11 AGUA VISTA COURT
EMERALD HILLS
SAN MATEO COUNTY
CALIFORNIA 94062

AREA CALCULATIONS

Lot size: 17,300sf (per MG Engineers survey)

Lot floor area coverage allowed: 4325sf
(17,300x25%=4325)

2795sf (new residence)
240sf (new decks)
70sf (existing shed)
Total: 3105sf

Existing impervious area (to be removed):
1627sf (existing residence)
1045sf (existing garage)
588sf (existing carport)
128sf (shed)
1229sf (concrete driveway)
1429sf (decks)
6046sf (existing--to be removed)

Proposed impervious area:
2995sf (new residence)
1380sf (new paver patios)
2400sf (new driveway)
Total: 6775sf

Net new impervious area: 730sf

PROJECT DATA

New Residence: 4345sf

Allowable Floor Area: 5190sf
(17300sf lot size x 30% = 5190sf)

New Residence Square Footage:

Main Floor Level: 2795sf

Lower Level: 702sf

Garage: 848sf

Total: 4345sf

Elevated Decks: 240sf

PROJECT SCOPE

Demolish existing two-story house and three-car garage.

Construct new single-story house with basement and 3-car garage.

Remove 1 tree and plant 3 new trees.

Project Address: 11 Agua Vista Court, Emerald Hills, CA

Owner: Eileen Kollar and Jim Gasiewski

APN: 068-31-200 &210

Zoning: San Mateo County RH

Lot Area: 17,300sf

Building Area: See Area Calculations

Stories: One story split level with partial basement

Occupancy: Single Family Residence

Construction: Wood frame with stucco exterior finish and standing-seam metal roof

PROJECT TEAM CONTACTS

Owners

Eileen Kollar and Jim Gasiewski
754 Hillcrest Way
Emerald Hills, CA 94062
jgasiewski@mindspring.com
650-208-4197

Civil Engineer

Michael Goodhue, P.E., L.S.
Civil Engineering and Land Surveying
PO Box 1914, Aptos, CA 95001
831-763-1661

Structural Engineer

DJ Engineers and Associates
480 St John St, Suite 220
Pleasanton, CA 94566
925-846-9429
Dan Dremalas, P.E.

SHEET INDEX

Cover Sheet

Topographic Survey

Site Plan

Main Floor Plan

Lower Floor Plan

Front and Rear Elevations

Side Elevations

Landscape and Irrigation Plan

Cross Sections

Roof Plan

Exterior Lighting

Location	Unit	Number	Energy Consumption and light per unit
Entry	Independence 12 in. 1-Light Textured Architectural Bronze	2	One integrated ISW LED per unit
	Integrated LED Outdoor Wall Light by HICHLER		3000K color temp
	Same as above		350 Lumens per unit
	Same as above		Same as above
Garage	Same as above	4	Same as above
Living Room Deck	Same as above	2	Same as above
Family Room Deck	Same as above	4	Same as above
Lower Level Patio	Same as above	4	Same as above

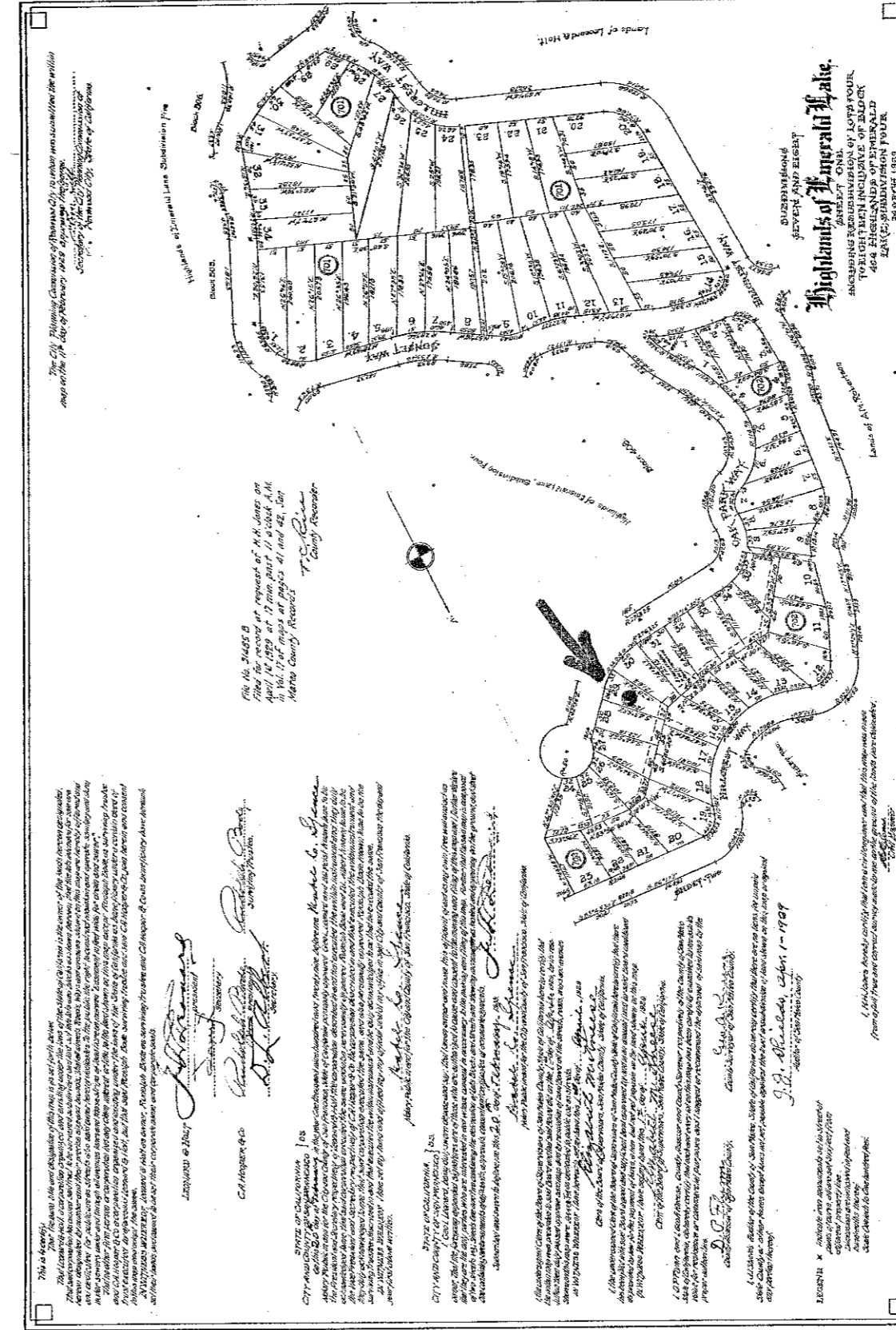
Exterior Finishes and Colors

Area	Material	Color
Roof	Standing seam metal	Taupe
Walls	Stucco	Ivory
Gutters and roof fascia	Galvanized steel	Taupe
Feature walls	Limestone	Mocha
Garage Doors	Metal Frame w/ glass panels	Bronze frame Semi-translucent glass
Window/door trim	Aluminum	Bronze

Existing structures to be demolished:

Residence: 2230sf

Garage: 750sf



REVISIONS BY

NO.	DATE	BY	DESCRIPTION
1	10/20/16	JMG	Initial Issue
2	10/20/16	JMG	Revised
3	10/20/16	JMG	Revised
4	10/20/16	JMG	Revised
5	10/20/16	JMG	Revised
6	10/20/16	JMG	Revised
7	10/20/16	JMG	Revised
8	10/20/16	JMG	Revised
9	10/20/16	JMG	Revised
10	10/20/16	JMG	Revised

Cover Sheet
11 Agua Vista Ct, Emerald Hills, CA
APN: 068-31-200 &210

Date 10-20-16
Scale N/A
Drawn JMG
Job
Sheet
Of Sheets

LEGEND

- ⊕ BENCH MARK (SET PK NAIL IN STREET)
- GM GAS METER LOCATION
- EM ELECTRIC METER LOCATION
- WM WATER METER LOCATION
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ SANITARY CLEAN OUT
- ⊕ HDPE HIGH DENSITY POLYETHYLENE PIPE
- ⊕ GUY
- ⊕ POWER POLE
- ⊕ CARPORT SUPPORT POST
- ⊕ GATE
- ⊕ INDICATES STAIRS
- ↑ UP IN DIRECTION OF ARROW
- ▭ WOOD WALL
- ▭ ROCK WALL
- ▭ WALL
- ▭ PROPERTY LINE
- ▭ ELEVATION
- ▭ CONTOUR (5' INTERVAL)
- ▭ ELEVATION CONTOUR (1' INTERVAL)
- ▭ FENCE
- ▭ EDGE OF PAVEMENT

NOTES

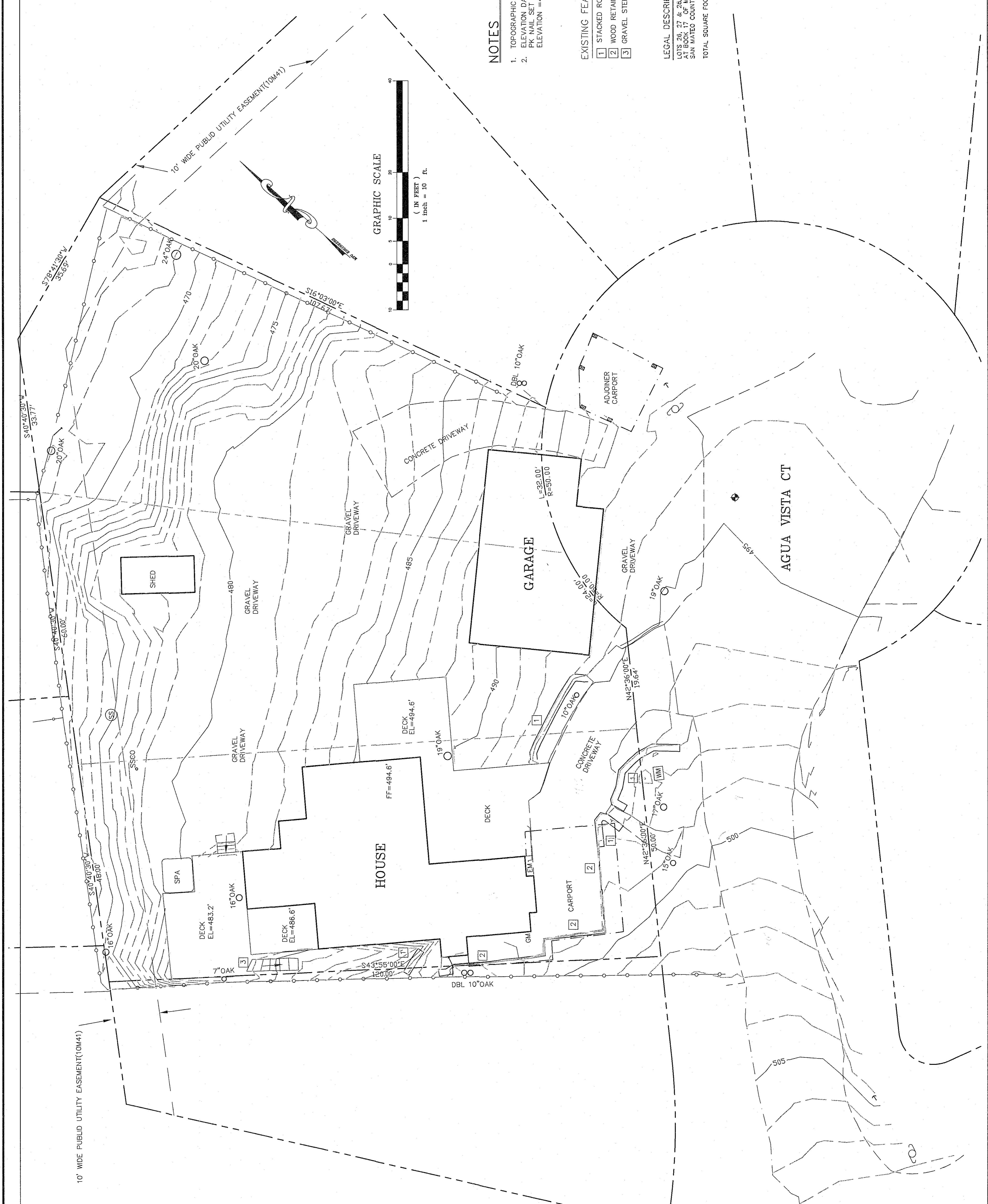
1. TOPOGRAPHIC FIELD DATA COLLECTED ON NOVEMBER 19, 2020
2. ELEVATION DATUM IS ASSUMED. BENCH MARK IS A PK NAIL SET IN THE STREET
ELEVATION = 494.9'

EXISTING FEATURE NOTES

- 1 STACKED ROCK RETAINING WALL
- 2 WOOD RETAINING WALL
- 3 GRAVEL STEPS

LEGAL DESCRIPTION

LOTS 26, 27 & 28, BLOCK 702, AS SHOWN ON THAT MAP FILED IN BOOK 27 OF CHARTS, PAGES 41 & 42, OFFICIAL RECORDS OF SAN MATEO COUNTY.
TOTAL SQUARE FOOTAGE=17,342± SQUARE FEET



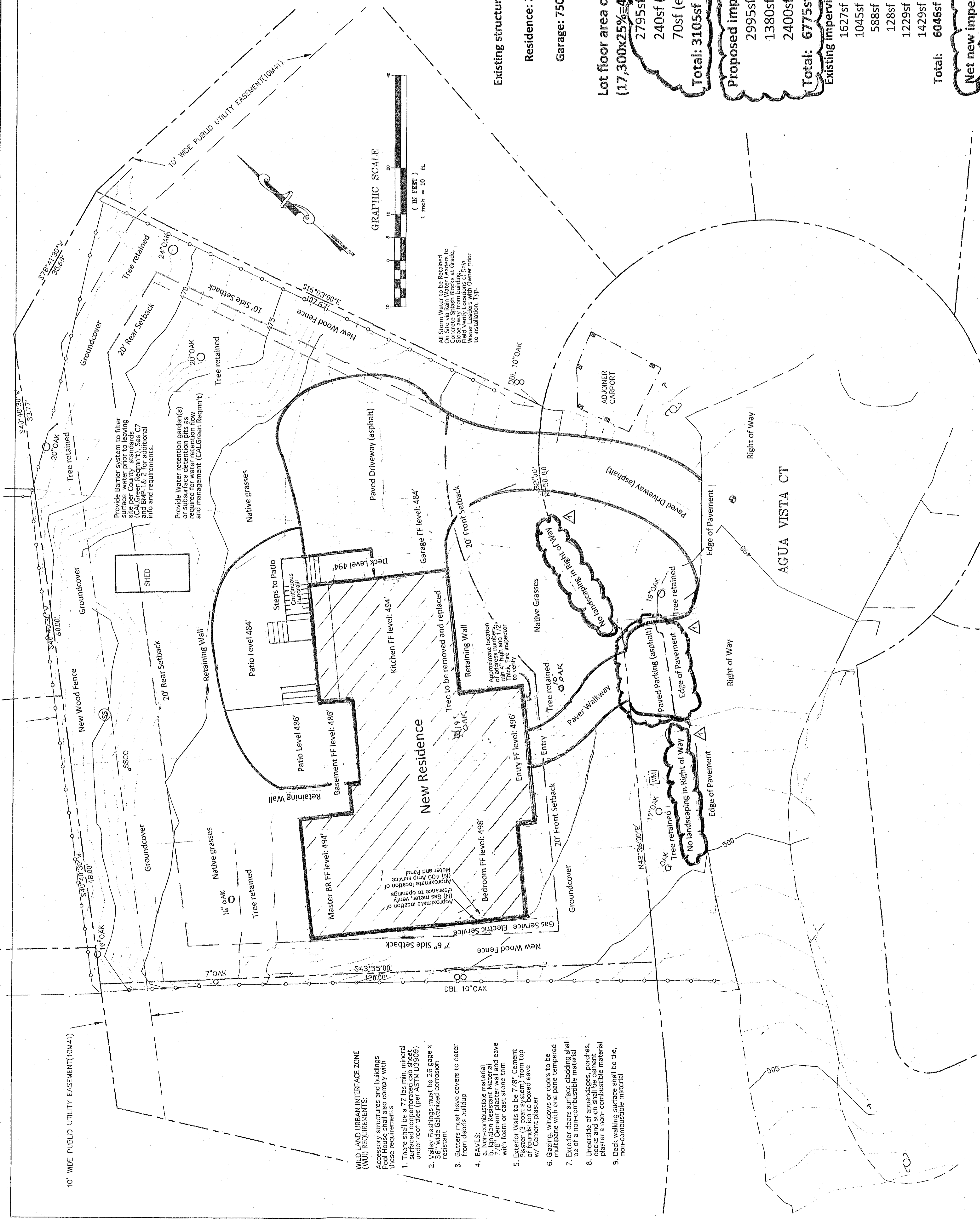
DATE	REVISION	BY
12/18	ORIGINAL	JMG
1/22/21	PLANNING SUBMISSION	JMG
4/1/21	PLANNING COMMENT RESPONSE	JMG

Site Plan
11 Agua Vista Ct. Emerald Hills, CA
APN: 068-31-200 & 210

DRAWN: JMG
CHECKED:
DATE: 1-22-21
SCALE: 1"=10'
JOB NO.
SHEET

LEGEND

- BENCH MARK (SET PK NAIL IN STREET)
EL=494.9'
- GAS METER LOCATION
- ELECTRIC METER LOCATION
- WATER METER LOCATION
- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- SANITARY CLEAN OUT
- HIGH DENSITY POLYETHYLENE PIPE
- GUY
- POWER POLE
- CARPOT SUPPORT POST
- GATE
- INDICATES STAIRS UP IN DIRECTION OF ARROW
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- PROPERTY LINE
- EAVE
- ELEVATION
- CONTOUR (5' INTERVAL)
- ELEVATION
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- FENCE
- EDGE OF PAVEMENT



Existing structures to be demolished:

Residence: 2230sf
Garage: 750sf

Lot floor area coverage allowed: 4325sf
(17,300x25%=4325)

2795sf (new residence)
240sf (new decks)
70sf (existing shed)
Total: 3105sf

Proposed impervious area:
2995sf (new residence)
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Total: 6775sf

Existing impervious area (to be removed):
1627sf (existing residence)
1045sf (existing garage)
588sf (existing carport)
128sf (shed)
1229sf (concrete driveway)
1429sf (decks)

Total: 6046sf (existing--to be removed)
Net new impervious area: 730sf

WILD LAND URBAN INTERFACE ZONE (WUI) REQUIREMENTS:
Accessory structures and buildings Pool House shall also comply with these requirements
1. There shall be a 72 lbs min. mineral surfaced non-combustible roof under roof tiles (per ASTM D3993)
2. Valley Flashings must be 26 gage x 36" wide Galvanized corrosion resistant.
3. Gutters must have covers to deter from debris buildup
4. EAVES:
a. Non-combustible material
b. Ignition resistant material with foam or cast stone trim
5. Exterior Walls to be 7/8" Cement of foundation to boxed eave w/ Cement plaster
6. Glazing, windows or doors to be multipane with one pane tempered Be of a non-combustible material
7. Exterior doors surfaces cladding shall Be of a non-combustible material
8. Underside of appendages, porches, decks and such shall be Cement plaster a non-combustible material
9. Deck walking surface shall be tile, non-combustible material

FOR REDUCED PLANS ORIGINAL SCALE IN INCHES 0 1 2 3

DRAWING NAME:

SHEET NAME:

FLOOR PLAN NOTES:

1. SYMBOLS SHOWN ON LEGENDS ARE FOR GENERAL USE & MAY NOT APPLY TO THIS PROJECT. VERIFY ALL SYMBOLS WITH THE ARCHITECT OR MANUFACTURER'S LITERATURE. VERIFY ANY DIFFERENTIAL BETWEEN SCALES & GREATEST DIMENSION WITHIN ANY FLOOR OF THIS DRAWING. VERIFY ALL DIMENSIONS WITHIN ANY FLOOR OF THIS DRAWING. VERIFY ALL DIMENSIONS WITHIN ANY FLOOR OF THIS DRAWING.
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3. CHECK ALL DRAWINGS FOR THESE NOTES AS A PRELIMINARY REQUEST FOR INFORMATION.
4. VERIFY ALL DIMENSIONS WITHIN THESE NOTES AS A PRELIMINARY REQUEST FOR INFORMATION.
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8. VERIFY ALL DIMENSIONS WITHIN THESE NOTES AS A PRELIMINARY REQUEST FOR INFORMATION.

WILD LAND URBAN INTERFACE ZONE (WUI) REQUIREMENTS:

1. There shall be a 7.2 lb. min. mineral wool fire-resistance-rated roof under roof structure (NFPA 285) (IBC 703.5).
2. Valley Flashings shall be 2x6, 3x6, or 4x6 treated wood, minimum 3/4" thick, galvanized corrosion resistant.
3. Gutters must have covers to deter debris build-up.
4. EAVES:
 - a. Combustible materials shall be protected by a 1/2" gypsum board.
 - b. Gypsum board shall be installed on a minimum 1/2" thick non-combustible base.
 - c. Gypsum board shall be installed on a minimum 1/2" thick non-combustible base.
5. Exterior walls shall be 2" thick masonry or concrete masonry unit (CMU) or 4" thick concrete masonry unit (CMU) or 4" thick concrete masonry unit (CMU) or 4" thick concrete masonry unit (CMU).
6. Windows & doors to be protected by a 1/2" gypsum board.
7. Exterior doors shall be 1 3/4" thick solid wood or metal.
8. Unfinished of eaves, decks, porches, patios, etc. shall be concrete.
9. Deck walking surfaces shall be tile, non-combustible material.

Show and Tub/Shower walls to be 1/2" thick gypsum board (e.g. concrete tile or fiberglass) over 1/2" thick concrete or masonry unit (e.g. concrete block or masonry unit) to a height of 72" above finished floor (AFF). Max. 3/4" differential between scales & greatest dimension within any floor of this drawing.

REVISIONS	BY	DATE
1/23/21	JRG	

APR 15 2021 11:55 AM

Drawn	JRG
Check	JRG
Job	
Sheet	
Drawn	JRG

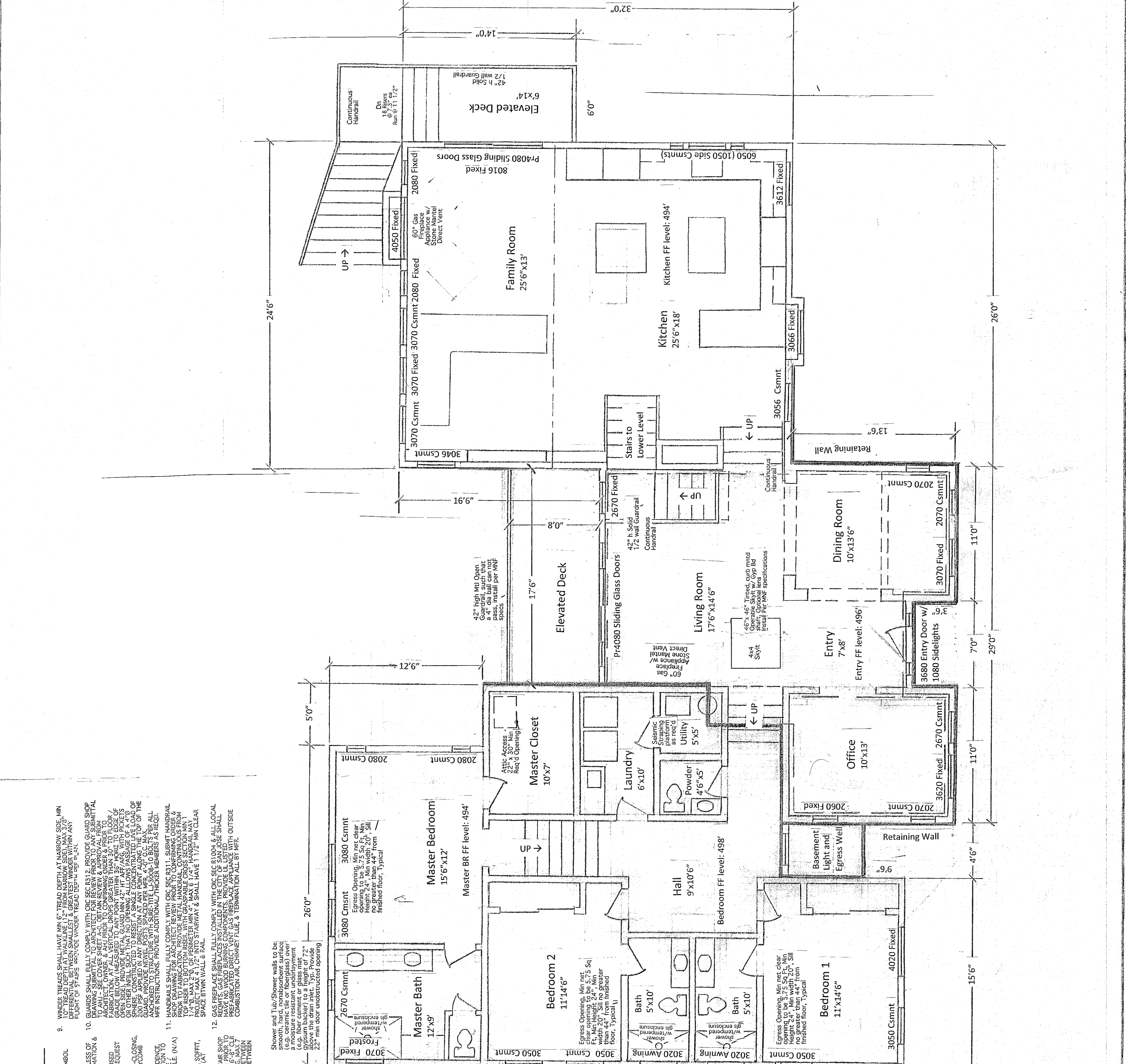
11 Aqua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 8210
 Main Level Floor Plan

Date: 12-6-20
 Scale: 1/4" = 1'-0"
 Drawn: JRG
 Job: 1155
 Sheet: _____
 of _____

New Residence: 4345sf
 New Residence Square Footage:
 Main Floor Level: 2795sf
 Lower Level: 702sf
 Garage: 848sf
Total: 4345sf

Elevated Decks: 240sf

Allowable Floor Area: 5190sf
 (17300sf lot size x 30% = 5190sf)



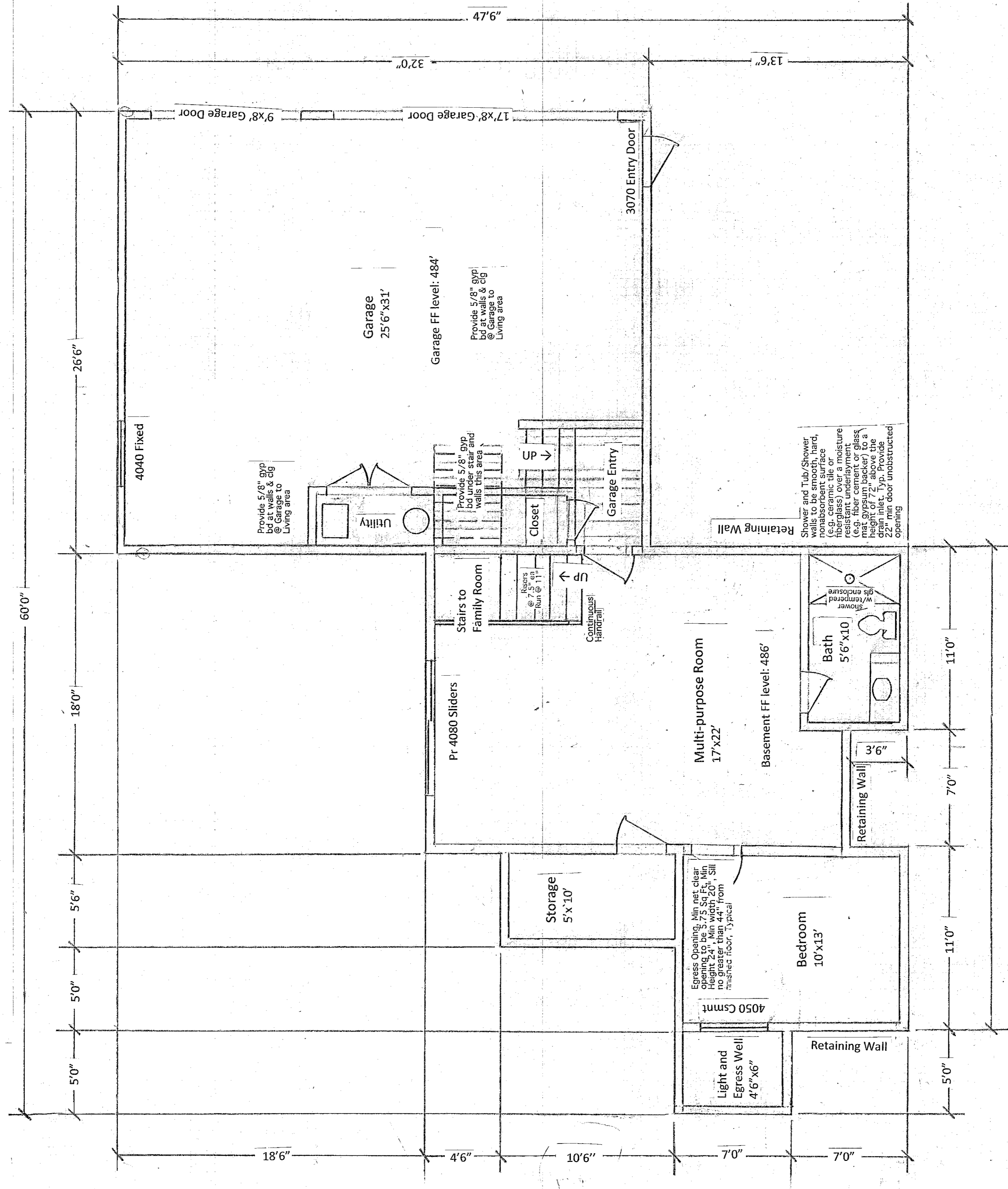
FLOOR PLAN NOTES:

1. SYMBOLS SHOWN ON LEGENDS ARE FOR GENERAL USE & MAY NOT BE USED FOR SPECIFIC DETAILS. ALL PLANS, DISREGARD ANY LEGEND SYMBOL NOT APPEARING ON PLANS.
2. THESE NOTES SUPPLEMENT THOSE FOUND IN SPECIFICATIONS. THESE DOCUMENTS SHALL BE REVIEWED IN FULL REGARDLESS OF WHETHER THEY APPEAR. SEE OTHER SHEETS FOR ADDITIONAL INFORMATION & REQUIREMENTS.
3. SUBMIT ALL DIMENSIONS PER NOTES. SUBMIT ANY PROPOSED CHANGES OR INFORMATION FROM THESE NOTES AS A SUBSTITUTION REQUEST OR REQUEST FOR INFORMATION.
4. DOOR BETWEEN GARAGE & RESIDENCE SHALL BE TIGHT-FITTING, SELF-CLOSING, CEILING FINISH, MIN. 2" CLEARANCE ABOVE DOOR, SOLID WOOD, SOLID OR HONEYCOMB CORE, 5 1/2" HIGH, OR 60" MIN. CLEARANCE ABOVE DOOR. (N/A)
5. ON GARAGE, PROVIDE 2" X 4" SIPSPAN BOARD EXTENDING GARAGE & RESIDENCE UNDERSIDE OF ROOF SHEATHING; COMPLETELY SEPARATE GARAGE FROM GARAGE ATTIC FROM INSIDENCE. RESIDENCE ATTIC AS APPLICABLE. (N/A)
6. NOT USED
7. ENCLOSED USABLE SPACE BELOW STAIRS: AT ALL WALL, CEILING, SOFFIT, OWNERS SOLE OPTION MIN. 12" X 6' X 6'.
8. STAIRWAY SHALL FULLY COMPLY WITH CBC SEC R311.4. SUBMIT STAIR SUPPLY DRAWING FOR ARCHITECT REVIEW PRIOR TO CONFIRMING ORDER & PRIOR TO FABRICATION. STAIRWAY SHALL BE MIN. 36" CLEAR WIDTH, MIN. 6" CLEAR FINISH. RISER FT. MIN. 11" TREAD DEPTH, MAX. 3/8" DIFFERENTIAL BETWEEN SMALLEST & GREATEST RISER HT.
9. WINDER TREADS SHALL HAVE MIN 6" TREAD DEPTH AT NARROW SIDE, MIN TREAD DEPTH AGAIN SLIGHTLY 2" FROM NARROW EDGE, MAX 3/8" DIFFERENTIAL BETWEEN GREATEST & SMALLEST RISER HT. PROVIDE WINDER TREAD LEAST PER R312.
10. GUARDS SHALL FULLY COMPLY WITH CBC SEC R312. PROVIDE GUARD SHOP DRAWING SUBMITTAL TO ARCHITECT FOR REVIEW PRIOR TO ANY SUBMITTAL. ARCHITECT, OWNER & AHI PRIOR TO CONFIRMING ORDER & PRIOR TO FABRICATION. ALL GUARDS SHALL BE 42" HIGH, WITH POCKET FABRICATION, ALUMINUM FINISH, DROPS GREATER THAN 36" TO FLOOR OR OPEN SIDE, PROVIDE METAL GUARD MIN 42" HT AFF. AFFS. WITH POCKETS SHALL BE CONSTRUCTED TO RESULT IN SINGLE FLOORING PASSED OR LOAD OF 200 PSF APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE GUARD. PROVIDE GUARD WITH SURE-TIE L-300P-10 BOLTS PER ALL AHI INSTRUCTIONS. PROVIDE ADDITIONAL THICKER MEMBERS AS REQ.
11. HANDRAILS SHALL FULLY COMPLY WITH CBC SEC R311.4. SUBMIT HANDRAIL SHOP DRAWING SUBMITTAL TO ARCHITECT FOR REVIEW PRIOR TO ANY SUBMITTAL. PRIOR TO FABRICATION. PROVIDE FEWEL PROOF, CONTINUING ORDER & TOP RISER TO BOTTOM RISER WITH GRASPABLE CROSS SECTION MIN. 1 1/2" DIA. PROJECT MAX 4 1/2" INTO STAIRWAY & SHALL HAVE 1 1/2" MIN CLEAR SPACE BETWEEN WALL & RAIL.
12. GAS FIREPLACE SHALL FULLY COMPLY WITH CBC SEC R1004 & ALL LOCAL APPLICABLE CODES. PROVIDE GAS FIREPLACE COMPONENTS. PROVIDE LISTED PRE-FABRICATED DIRECT VENT GAS FIREPLACE APPLIANCE WITH OUTSIDE COMBUSTION AIR, CHIMNEY FLUE, & TERMINATION ALL BY MFL.

WILD LAND URBAN INTERFACE ZONE (WUI) REQUIREMENTS:

1. There shall be a 7.2 lbs min. mineral surfaced nonperforated call sheet under roof tiles (per ASTM D3909)
2. Valley Flashings must be 26 gage x 36" wide galvanized corrosion resistant
3. Gutters must have covers to deter from debris buildup
4. EAVES:
 - a. Non-combustible material
 - b. Ignition Resistant Material
 - c. 1/2" Cement plaster wall and eave with foam or cast stone trim
5. Exterior Walls to be 7/8" Cement plaster (3 coat system) from top of foundation to finished eave w/ Cement plaster
6. Glazing, windows or doors to be multipane with one pane tempered
7. Exterior doors surface cladding shall be of a non-combustible material
8. Underside of appendages, porches, decks and such shall be cement plaster a non-combustible material
9. Deck walking surface shall be tile, non-combustible material

REVISIONS	BY
1/22/21	JM
	JM
	JM
	JM
	JM
	JM
	JM



New Residence Square Footage:
 Main Floor Level: 2795sf
 Lower Level: 702sf
 Garage: 848sf
Total: 4345sf

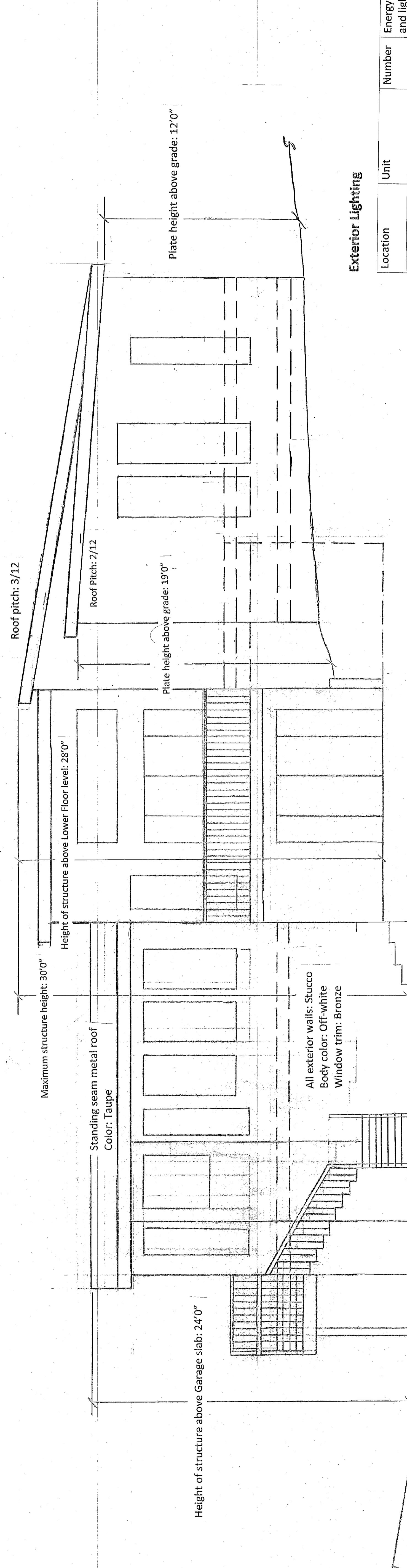
Lower Level and Garage Floor Plan
 11 Agua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 & 210

Date	12-6-20
Scale	1/4" = 10'
Drawn	JM
Job	
Sheet	
Cf	Sheets

REVISIONS	BY
1/22/21	RAM/SUB/17/16

Front and Rear Elevations
 11 Agua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 & 210

Date	12-6-20
Scale	1/4" = 1'-0"
Drawn	JMG
Job	
Sheet	
Of	Sheets

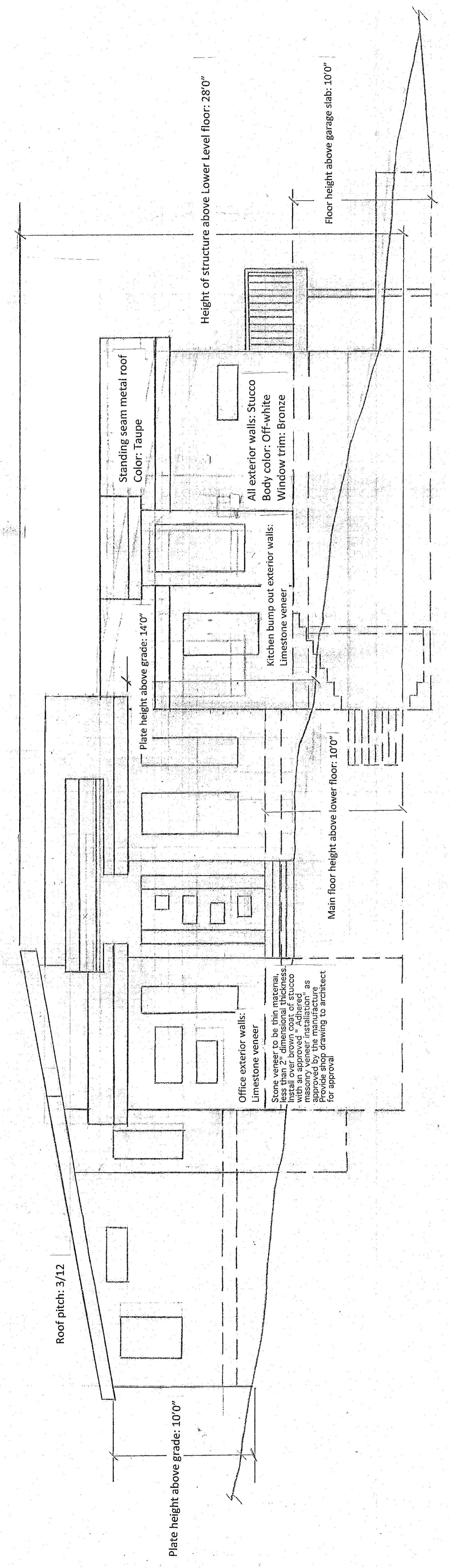


Exterior Finishes and Colors

Area	Material	Color
Roof	Standing seam metal	Taupe
Walls	Stucco	Ivory
Gutters and roof fascia	Galvanized steel	Taupe
Feature walls	Limestone	Mocha
Garage Doors	Metal Frame w/ glass panels	Bronze frame Semi-translucent glass
Window/door trim	Aluminum	Bronze

Exterior Lighting

Location	Unit	Number	Energy Consumption and light per unit
Entry	Independence 12 in. 1- Light Textured Architectural Bronze	2	One integrated 15W LED per unit
	Integrated LED Outdoor Wall Cylinder Light by KICHLER	4	3000K color temp 350 lumens per unit
Garage	Same as above	4	Same as above
Living Room Deck	Same as above	2	Same as above
Family Room Deck	Same as above	4	Same as above
Lower Level Patio	Same as above	4	Same as above



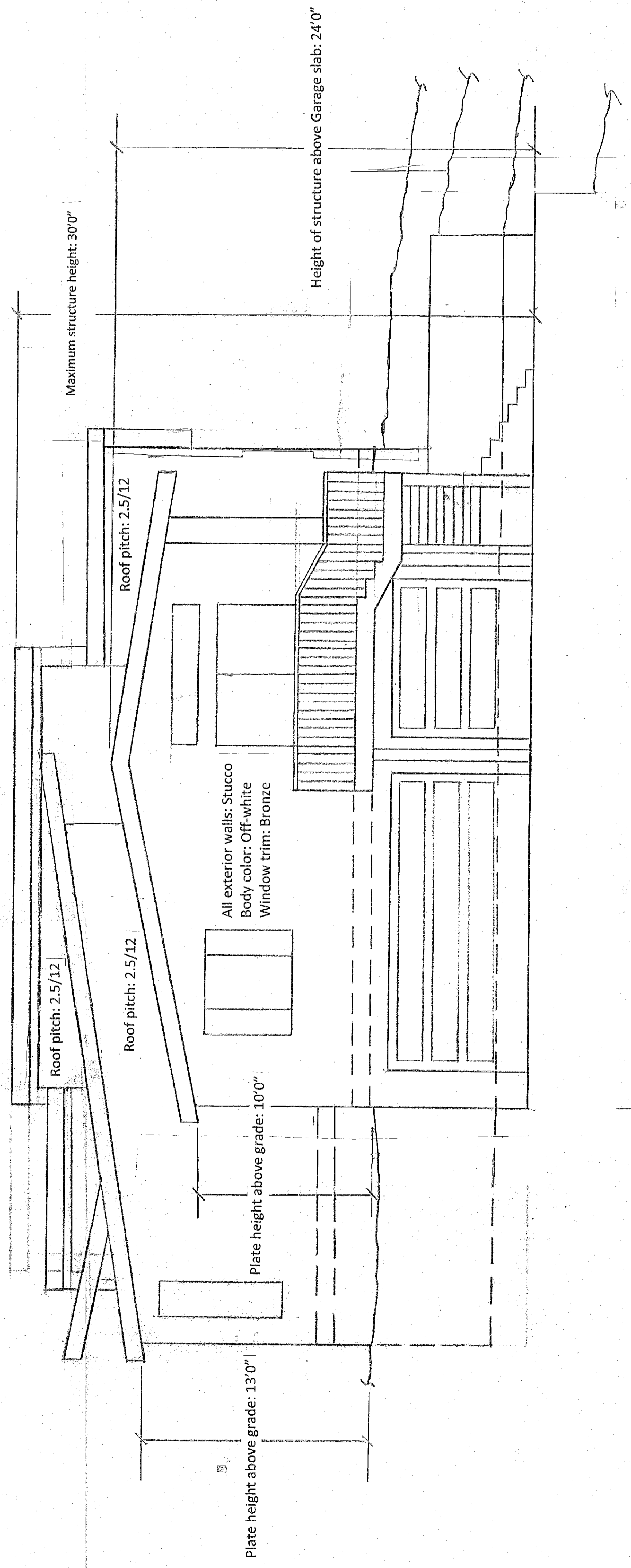
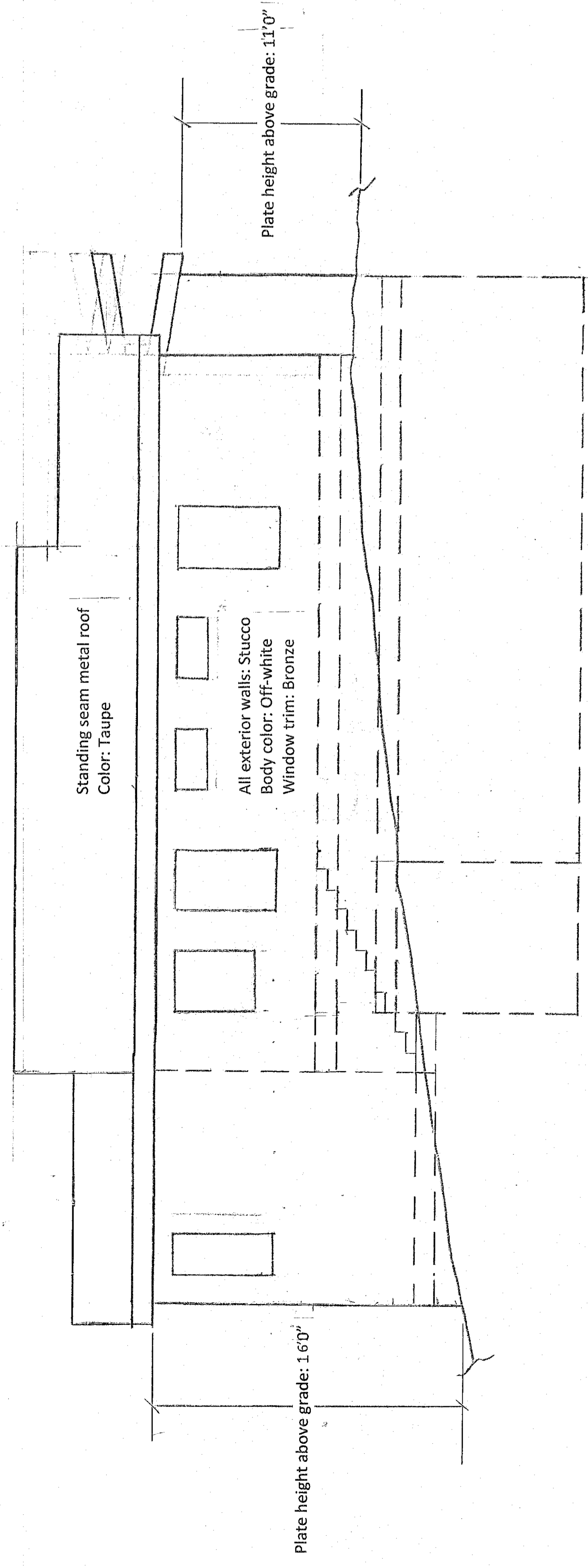
REVISIONS	BY	DATE
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5	JMG	12-6-20
6	JMG	12-6-20
7	JMG	12-6-20
8	JMG	12-6-20
9	JMG	12-6-20
10	JMG	12-6-20

Exterior Lighting

Location	Unit	Number	Energy Consumption and light per unit
Entry	Independence 12 in. 1-1 Light Textured Architectural Bronze Integrated LED	2	One integrated 15W LED per unit
	Outdoor Wall Cylinder Light by KICHLER		
	Same as above		
	Same as above		
Garage	Same as above	4	Same as above
Living Room Deck	Same as above	2	Same as above
Family Room Deck	Same as above	4	Same as above
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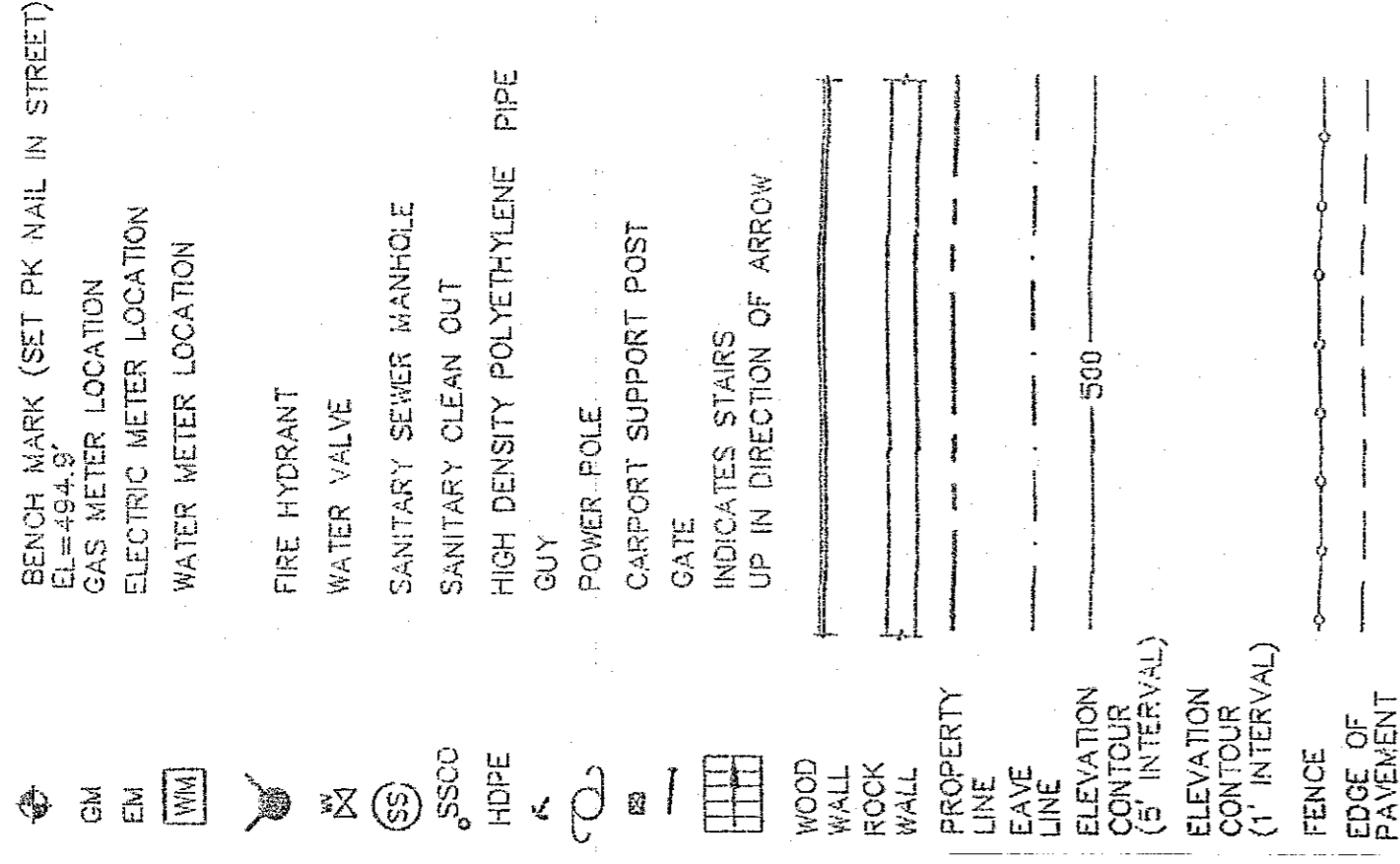


DATE	11/22/21	REVISION	PLANNING SUBMITTAL
DATE	9/1/21	REVISION	PERMITS RESPONSE
BY	JMB		

11 Agua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 8210

DRAWN:	JMG
CHECKED:	
DATE:	1-22-21
SCALE:	1"=10'
JOB NO.	
SHEET	

LEGEND



PLANTING LEGEND

SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WUCOLS
TREES					
T-1	Arbutus Menziesii	Marina Madrone	24" box	2	M
T-2	Cercis c. Forest Pansy	Eastern Redbud	24" box	3	M
T-3	Pistacia chinensis 'Vein Dancer'	Chinese Pistache	36" box	2	L
T-4	Prunus caroliniana	Carolina Cherry	24" box	15	L
T-5	Corylus americana	Common Hazel	24" box	1	M
T-6	Quercus agrifolia	Coast Live Oak	24" box	1	M
T-6	Tristania l. Edgar	Edgar Live Oak	36" box	2	M
SHRUBS					
	Arctostaphylos uva-ursi	Howard Jubilee	5 gal		VL
	Carpenteria californica	Bash Anemone	5 gal		L
	Ceanothus 'Ray Hermer'	California Lilac	5 gal		L
	Hebe x exoniifolia	Trayon	5 gal		L
	Mahonia aquifolium	Oregon Grape	5 gal		L
	Physalis elaeagnifolia	Scilla W. Myrtle	5 gal		L
	Ribes viburnum	Chippendale	5 gal		L
	Ribes viburnum	Evergreen Camellia	5 gal		L
	Washingtonia f. 'Wynneble Gem'	Coast Rosemary	5 gal		L
PERENNIALS & GRASSES					
	Achillea millefolium 'Moonshine'	Moonshine Yarrow	1 gal		L
	Artemisia tridentata 'Blossoms'	Blossoms Thirt	1 gal		L
	Coreopsis lanceolata 'Sunny'	Coreopsis	1 gal		L
	Fraxinus latifolia 'Sage'	Sage Boxwood	1 gal		L
	Fraxinus latifolia 'Sage'	Slack Boxwood	1 gal		L
	Fraxinus latifolia 'Sage'	Woodland Strawberry	1 gal		L
	Helianthus scaberrimus	Blue Oak Grass	1 gal		M
	Hemerocallis 'Little Miss Sunshine'	Little Miss Sunshine Daily	1 gal		M
	Heuchera maxima	French Lavender	1 gal		M
	Lavandula 'Du Provencal'	Provencal Lavender	1 gal		M
	Mitella aurea	Deer Grass	1 gal		L
	Muhlenbergia rigida	Walker's Low	1 gal		L
	Nyctaginia flexilis	Walker's Low	1 gal		L
	Perennium spp.	Bent Tongue	1 gal		M
	Perennium spp.	New Zealand Flax	1 gal		M
	Rosa sp.	White Flower Carpet	1 gal		M
	Santolina chamaecrista	Grey Santolina	1 gal		L
	Styracichia bellum	Blue-Eyed Grass	1 gal		VL
GROUNDCOVERS					
	Arctostaphylos 'Carmel Sun'	Carmel Sun	6 gal		L
	Arctostaphylos 'Emerald Carpet'	Emerald Carpet	6 gal		L
	Ceanothus 'Frankie Point'	Frankie Point	6 gal		L
	Crocosmia p. 'Vella Violet'	Vella Violet	6 gal		L
	Mahonia repens	Mahonia repens	6 gal		L
	Rourea repens	Iron Prunella Rosemary	6 gal		L
	Silene 'Sea's Star'	Creeping Sage	6 gal		L

General Notes

1. Of the 12 trees on the site in the table Existing Tree Legend, 1 is proposed to be removed due to interference with construction.
2. As provided in the table New Tree Legend, 3 new native trees of 24" box or larger size will replace the tree removed.
3. Owner will provide an automatic irrigation system to effectively water all replacement trees, shrubs, grasses and groundcover. Water will be delivered via surface installed drip emitters, low flow bubblers and subsurface lines. Estimated water use is provided in the table titled Irrigation and Water Usage.
4. Soil augmentation shall be provided in areas where soil properties are less than conducive to vegetation growth. The extent of augmentation will be based on anticipated drip line at maturity, with depth adequate to promote root development.

DEFENSIBLE SPACE/FIREBREAK/IRRIGATION PLAN

This plan has been designed in accordance with California Public Resources Code 4281 and California Government Code Section 51182. Prior to final inspection, the landscape architect will be required to issue a letter certifying that the landscaping and vegetation requirements have been completed.

The guidelines to be followed in creating defensible space include:

1. Maintain around and adjacent to the occupied dwelling or occupied structure a firebreak made by removing and clearing away, for a distance of not less than 30 feet on each side thereof or to the property line, whichever is nearer, all flammable vegetation or other combustible growth. This does not apply to single specimens of trees or other vegetation that is well-pruned and maintained so as to effectively manage fuels and not form a means of rapidly transmitting fire.
2. Maintain around and adjacent to the occupied dwelling or occupied structure additional fire protection or firebreaks made by removing all brush, flammable vegetation, or combustible growth that is located within 100 feet from the occupied dwelling or occupied structure or to the property line, or at a great distance if required by state law, or local ordinance, rule, or regulation. This guideline is intended to eliminate trees, bushes, shrubs and surface debris that are completely dead or with substantial amounts of dead branches or leaves/needles that would readily burn. Loose surface litter, normally consisting of fallen leaves or needles, twigs, bark, cones and small branches, shall be permitted to a depth of 3 inches. Grasses and other vegetation located more than 30 feet from the dwelling or structure and less than 18 inches in height about the ground may be maintained where necessary to stabilize the soil. The landscaping and vegetation shall be maintained so as to effectively manage fuels and not form a means of rapidly transmitting fire from one nearby vegetation to a dwelling structure.
3. Remove that portion of any tree that extends within 10 feet of the outlet of any chimney or stovepipe.
4. Maintain any tree adjacent to or overhanging any building free of dead or dying wood.
5. Maintain the roof of any structure free of leaves, needles, or other dead vegetative growth.
6. New plantings shall be fire resistant and irrigated. Plantings shall be selected based on their natural tendency to produce minimal amounts of fire fuels. All plantings shall be maintained to the amount of recommended maintenance.
7. Horizontal clearances between groups of new plantings. Screen shrubs can be grouped together with space in between the groups. Vertical clearances between shrubs and trees of three times the height of the shrub is recommended to minimize a fire ladder effect.
8. New plantings near the building envelope shall be low perennials to minimize contact between potential plant material fuels and the building.

Irrigation and Water Usage

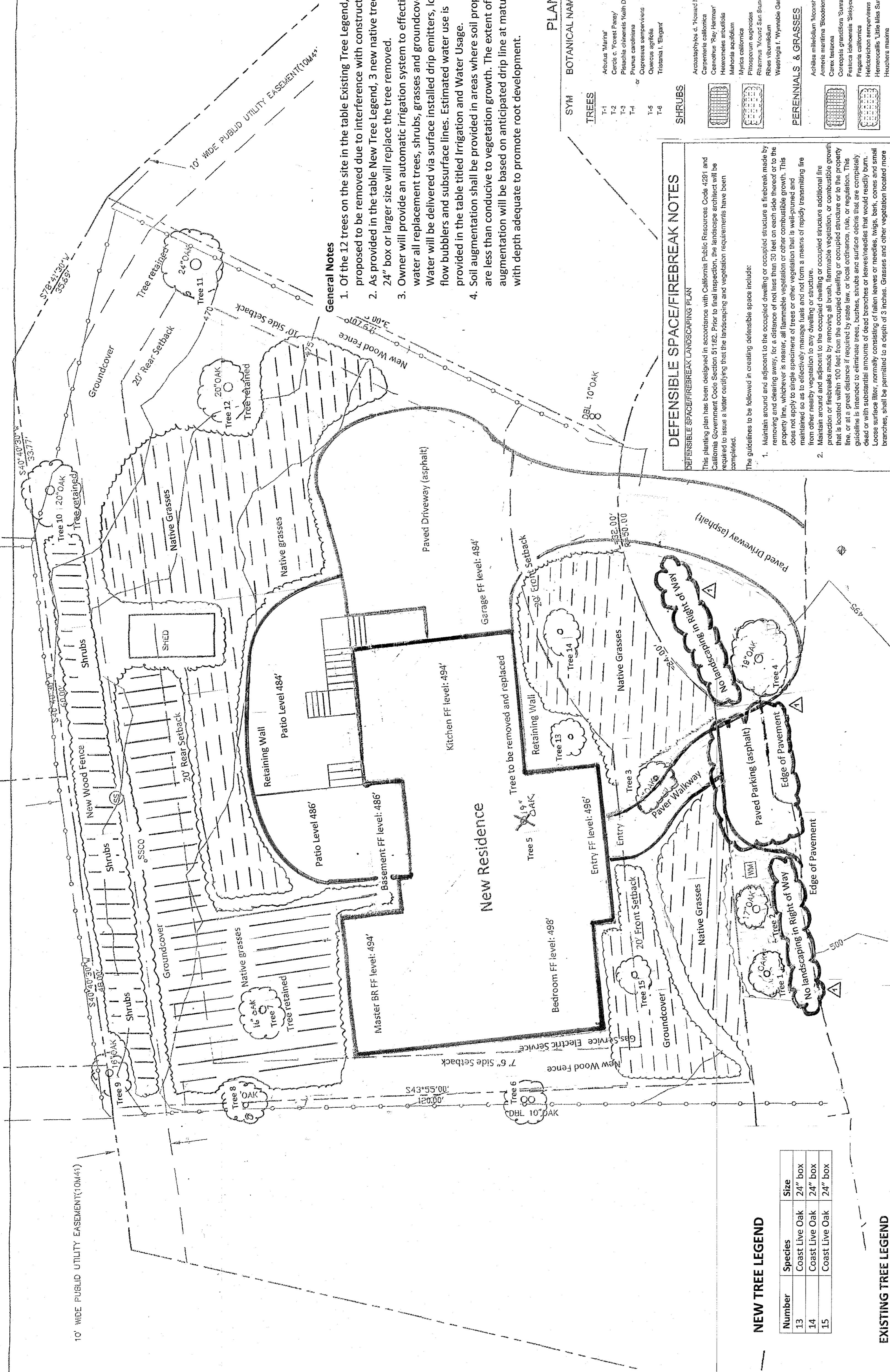
Type of unit	Water flow	Number of units	Daily water usage	Weekly water usage
Pressure-Compensating Bubblers	5.0gph	3 (new trees)	3 gals	12 gals
Pressure-Compensating Drip emitters	2.0gph	20 (rear fence shrubs)	10 gals	30 gals
Drip emitters	0.25gph	400 (native grass)	20 gals	60 gals
	0.25gph	200 (groundcover)	10 gals	30 gals

NEW TREE LEGEND

Number	Species	Size
13	Coast Live Oak	24" box
14	Coast Live Oak	24" box
15	Coast Live Oak	24" box

EXISTING TREE LEGEND

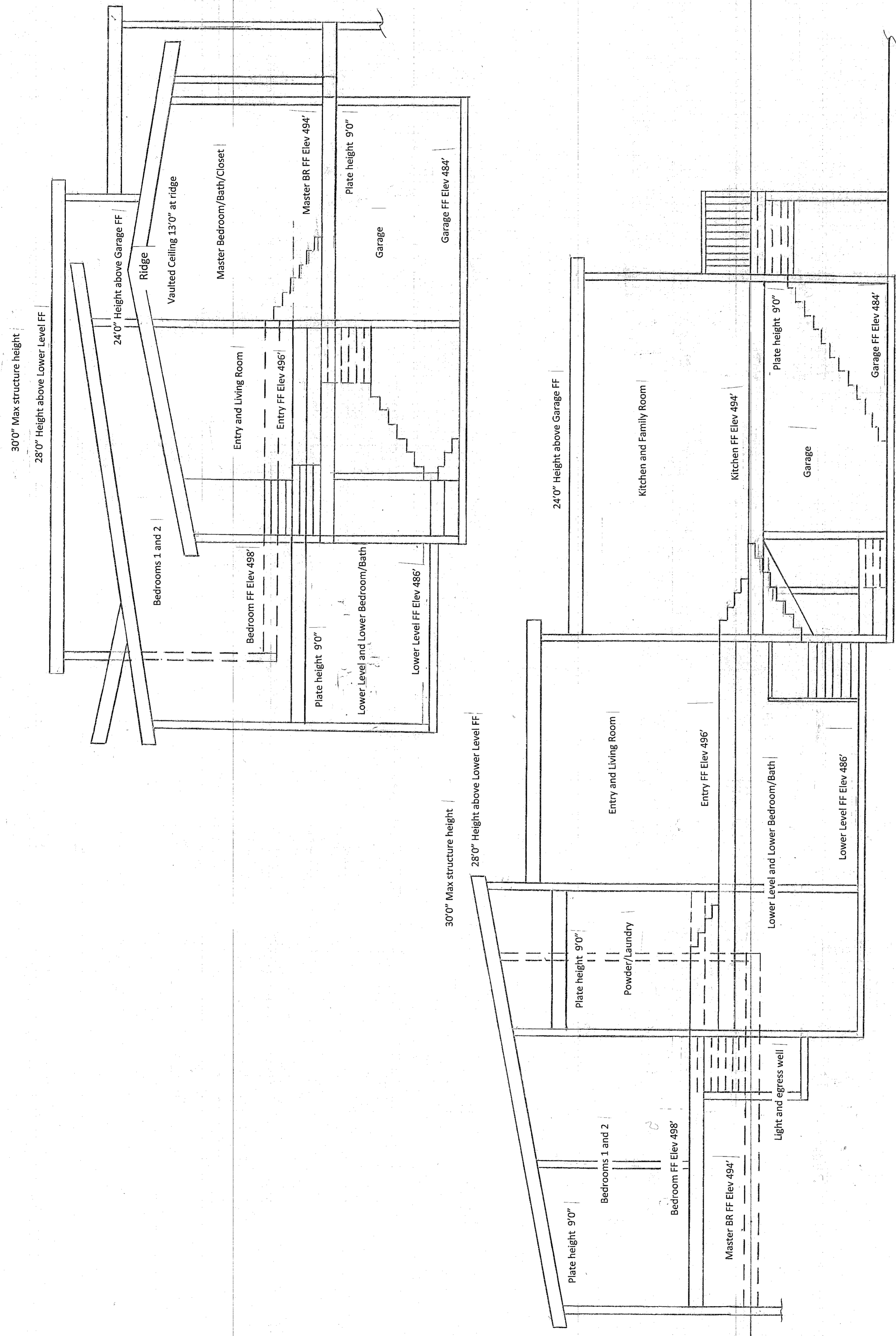
Number	Dia	Species	Condition	Status	Notes
1	15"	Coast Live Oak	Healthy	Save	
2	17"	Coast Live Oak	Healthy	Save	
3	10"	Coast Live Oak	Healthy	Save	
4	19"	Coast Live Oak	Healthy	Save	Located in right of way
5	19"	Coast Live Oak	Healthy	Remove	Construction
6	10" double	Coast Live Oak	Healthy	Save	
7	17"	Coast Live Oak	Healthy	Save	
8	7"	Coast Live Oak	Healthy	Save	
9	16"	Coast Live Oak	Healthy	Save	
10	20"	Coast Live Oak	Healthy	Save	
11	24"	Coast Live Oak	Healthy	Save	
12	20"	Coast Live Oak	Healthy	Save	



REVISIONS	BY

Elevation Cross-Sections
 11 Agua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 & 210

Date: 12-2-21
 Scale: 1/4" = 1'-0"
 Drawn: JMG
 Job:
 Sheet:
 CV Sheets



REVISIONS	BY

Roof Plan
 11 Agua Vista Ct. Emerald Hills, CA
 APN: 068-31-200 & 210

Date	Scale	Drawn	Job	Sheet	Of	Sheets

