

Planning and Building Department

455 County Center, 2nd Floor ▪ Redwood City CA 94063  
Mail Drop: PLN 122 ▪ TEL (650) 363-4161 ▪ FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

# Planning Permit Application Form

PLN: \_\_\_\_\_

BLD: \_\_\_\_\_

## Applicant/Owner Information

Applicant: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_ FAX: \_\_\_\_\_

Name of Owner (1): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Name of Owner (2): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

## Project Information

**Project Location** (address): \_\_\_\_\_

\_\_\_\_\_

**Zoning:** \_\_\_\_\_

**Assessor's Parcel Numbers:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Parcel/lot size:** \_\_\_\_\_

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Structures and/or Development:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:  \_\_\_\_\_

Owner's signature:  \_\_\_\_\_

Applicant's signature: \_\_\_\_\_

# Environmental Information Disclosure Form

PLN \_\_\_\_\_

BLD \_\_\_\_\_

Project Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Assessor's Parcel No.:      —      —  
 \_\_\_\_\_  
   —      —

Zoning District: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

## Existing Site Conditions

Parcel size: \_\_\_\_\_

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
		b. Construction of a new multi-family residential structure having 5 or more units?
		c. Construction of a commercial structure > 2,500 sq.ft?
		d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y.      Fill: _____ c.y.
		f. Subdivision of land into 5 or more parcels?
		g. Construction within a State or County scenic corridor?
		h. Construction within a sensitive habitat?
		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

**Please explain all "Yes" answers:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?

**Please explain any "Yes" answers:**

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## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
		<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
		<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: *Elyane Stefanick*

Date: 1/13/2021

(Applicant may sign)

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
 Mail Drop PLN 122 ■ 650 ■ 363 ■ 4161 ■ FAX 650 ■ 363 ■ 4849

# Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN \_\_\_\_\_

Other Permit #: \_\_\_\_\_

## 1. Basic Information

**Applicant:**

Name: DUSTIN & ELYANE STEFANICK  
 Address: 130 BRIDGEPORT DR  
HALF MOON BAY Zip: 94019  
 Phone,W: 650-422-0262 H: 831-251-9367  
 Email: ELYANESTEFANICK@GMAIL.COM

**Owner** (if different from Applicant):

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone,W: \_\_\_\_\_ H: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Architect or Designer** (if different from Applicant):

Name: KELEIGH GRIM, HAVEN DESIGN BUILD, LLC  
 Address: 1522 W. 40th Street FREEMONT, MI 49412 Zip: \_\_\_\_\_  
 Phone,W: 303-746-0661 H: \_\_\_\_\_ Email: KELEIGHGRIM@GMAIL.COM

## 2. Project Site Information

**Project location:**

APN: 037-333-200  
 Address: 130 BRIDGEPORT DR  
HALF MOON BAY Zip: 94019  
 Zoning: R-1/S-17/DR/CD  
 Parcel/lot size: 7689 sq. ft.

**Site Description:**

- Vacant Parcel
- Existing Development (Please describe):

Existing structure is a one-story single family home.  
Landscape is established with fescue lawns, drought tolerant plants & plant-based irrigation. No heritage trees

## 3. Project Description

**Project:**

- New Single Family Residence: \_\_\_\_\_ sq. ft
- Addition to Residence: 786 sq. ft
- Other: \_\_\_\_\_

**Describe Project:**

Project includes the construction of a new 786 SF  
two-story addition to existing single family home.  
New coverage area of first floor is 420 SF. Design and materials will match existing home and meet Design Review standards.

**Additional Permits Required:**

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

## 4. Materials and Finish of Proposed Buildings or Structures

<b>Fill in Blanks:</b>	<b>Material</b>	<b>Color/Finish</b>	<b>Check if matches existing</b>
		(If different from existing, attach sample)	
a. Exterior walls	WOOD PANEL	SW 9140 Blustery Sky	<input type="checkbox"/>
b. Trim	WOOD	SW 7006 Extra White	<input type="checkbox"/>
c. Windows	DOUBLE PANE PLASTIC		<input checked="" type="checkbox"/>
d. Doors	WOOD	Natural	<input type="checkbox"/>
e. Roof	ASPHALT COMPOSITE		<input checked="" type="checkbox"/>
f. Chimneys	No change		<input type="checkbox"/>
g. Decks & railings	N/A		<input type="checkbox"/>
h. Stairs	WOOD WITH RAILINGS (interior)	Wood stain with white trim	<input type="checkbox"/>
i. Retaining walls	No change		<input type="checkbox"/>
j. Fences	No change		<input type="checkbox"/>
k. Accessory buildings	N/A		<input type="checkbox"/>
l. Garage/Carport	No change		<input type="checkbox"/>

## 5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

## 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

*Elyane Stefanick*

---

Owner:

*Dustin Stefanick*

---

Applicant:

1/13/2021

---

Date:

1/13/2021

---

Date:

New Residential Addition

APN 037-333-200

130 Bridgeport Drive

Half Moon Bay, CA 94019

### How Project Conforms to Design Review Standards

This project consists of new two-story addition to existing single-story single-family home. Minimal to no grading will be needed as new addition is in a level area connecting to existing house. The new addition mass, shape and scale have been designed with offsets, indentations, and various roof lines to have a similar barn house look of neighborhood homes. Second story is to be indented from first story and is to tie into existing roof. Siding, windows, and facial trim of new addition is to match existing house. New addition and existing house are to be repainted using a light grey/ blue color for the siding, all trim and fascia boards to be painted white and front door to be painted dark blue/gray. This color palette conforms well with the neighborhood and coastal community. Existing stamped concrete walkway is to remain and be patched into new addition front doorsteps. Roof asphalt shingles are to match existing house and are a light brown color. No additional fencing is to be installed in this addition and existing fences (on side and rear of property) is to be repaired or replaced as needed.

Existing landscape surrounding property is to remain and be protected during construction. Lawn in front is to be repaired as needed. All existing irrigation has weather-based irrigation controller with pressure reducing valves and check valves on all sprinkler heads.

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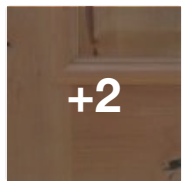
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**Roxbury 1 - Ligh Outdoor Hanging Lantern by  
Joss & Main.**

**To be hanging @ front entry door per plan.**







### **Product Overview**

Damp Location (Covered Outdoor Areas)

Hardwired

### **Features**

- Crafted from steel and finished in rustic black

- Rustic style design with a rectangular silhouette and painted aged walnut wood accents

- A cylindrical clear glass shade sits within the open frame for a strong glow

- Capable Of Being Dimmed When Used with Incandescent Or Dimmable Led Bulbs

- Suitable for use in damp locations

### **Product Details**

- Power Source: Hardwired

Dry, Damp or Wet Location Listed: Damp  
Bulb Base: E26/Medium (Standard)

### **Shade Included**

Shade Material: Glass

### **Weights & Dimensions**

#### **Adjustable Hanging Length**

Max Height

117.5"

#### **Other Dimensions**

Fixture

17" H x 8.25" W x 8.25" D

Overall Product Weight

10.34 lb.

Overall Height (Hanging)

117.5"

### **Specifications**

#### **Features**

Product Type

Outdoor Hanging Lantern

Power Source

Hardwired

Voltage

120 Volts

Dry, Damp or Wet Location Listed

Damp

What is Dry, Damp or Wet Location Listed

This indicates whether the fixture is safe to use in dry locations, damp locations (moist environments), or wet locations (direct exposure to water).

Fixture Finish

Rustic Black

Fixture Shape

Square/Rectangle

Bulb Not Included but Required

Yes

Bulb Base

E26/Medium (Standard)

Maximum Wattage (per bulb)

150 Watts

Number of Lights

1

Supplier Intended and Approved Use

Non Residential Use; Residential Use

Shade Included

Yes

Shade Material

Glass

Country of Origin

China

### **Assembly**

Adult Assembly Required

Yes

### **Specifications**

ETL Listed

Yes

Title 20 - California Code of Regulations

Yes

**GENERAL NOTES**

- A. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS, AND CONDITIONS (INCLUDING, BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, DRAINAGE LINES, ETC.) IN FIELD PRIOR TO SUBMITTING PRICES, AND AT APPROPRIATE TIMES DURING THE COURSE OF CONSTRUCTION BEFORE RELATED PROJECT PHASES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH AN EXAMINATION.
- B. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFIT FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OR INSTALLATION OF ITEM WORK.
- C. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY WHEN ANY CONDITION IS DISCOVERED THAT WOULD PREVENT PROPER EXECUTION OF THE CONTRACT DOCUMENTS INCLUDING ANY CONFLICTS BETWEEN THE SITE CONDITIONS AND THE CONTRACT DOCUMENTS AND ANY CONFLICTS OR AMBIGUITIES WITHIN THE CONTRACT DOCUMENTS.
- D. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE TIMELY COORDINATION AND SEQUENCING OF VARIOUS ARCHITECTS, ENGINEERS, LOCAL AUTHORITIES, MANUFACTURERS, SUPPLIERS, AND INSTALLERS REQUIREMENTS AND FOR THE TIMELY REVIEW OF REQUIRED EQUIPMENT AND MATERIALS FOR INSTALLATION PRIOR TO BEGINNING CONSTRUCTION OR SEQUENCING SUBSEQUENT CONSTRUCTION.
- E. EACH SUBCONTRACTOR IS CONSIDERED A SPECIALIST IN HIS/HER RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF HIS/HER BID AND THE PERFORMANCE OF WORK, NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE CONSTRUCTION DOCUMENTS WHICH CANNOT BE EXECUTED AS INDICATED OR CANNOT BE FULLY GUARANTEED. THE CONTRACTOR WILL THEN NOTIFY THE OWNER AND ARCHITECT PRIOR TO ACCEPTANCE OF CONTRACTOR'S BID.
- F. UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWINGS, ALL WORK, MATERIALS, LABOR, TRANSPORTATION, TOOLS, AND EQUIPMENT CALLED FOR ARE TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A PART OF THE CONTRACT FOR CONSTRUCTION.
- G. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- H. ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMAN-LIKE MANNER IN KEEPING WITH THE HIGHEST STANDARDS OF THE CONSTRUCTION INDUSTRY BY WORKMEN EXPERIENCED AND LICENSED IN THEIR RESPECTIVE TRADES. ALL SUBCONTRACTORS SHALL COORDINATE THEIR WORK AND SCHEDULING WITH THE WORK OF OTHER SUBCONTRACTORS AND/OR THE GENERAL CONTRACTOR, AND SHALL BE RESPONSIBLE FOR HIS/HER OWN TOOLS AND LABOR, REMOVE HIS/HER TOOLS AND SURPLUS MATERIALS, AS WELL AS ANY DEBRIS RESULTING FROM THIS WORK FOR THE SITE.
- I. ALL WORK HEREIN SHALL BE DONE IN ACCORDANCE WITH AIA GENERAL CONDITIONS DOCUMENT A-201, LATEST EDITION. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL PROVISIONS OF PREVAILING APPLICABLE CODES OF THE JURISDICTION THE PROJECT IS LOCATED. CODE COMPLIANCE SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IN THE CASE OF CONFLICT WITH THE DRAWINGS AND APPLICABLE CODES OR OF CONFLICT WITHIN THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER AND REQUEST DIRECTION.
- J. SOME OF THE SPECIFICATIONS APPEAR IN THE FORM OF NOTES AND SCHEDULES IN THE DRAWINGS AND, EXCEPT WHERE SPECIFICALLY CALLED OUT BY MANUFACTURER OR CATALOG NUMBER, ARE GENERIC IN NATURE. UNLESS NOTED OTHERWISE, ALL PRODUCTS ARE TO BE NEW AND UNUSED, ALL PRODUCTS USED IN CONSTRUCTION ARE TO BE COMPATIBLE WITH OTHER PRODUCTS USED WITHIN THE SAME BUILDING COMPONENTS OR PRINTED INSTRUCTIONS, RECOMMENDATIONS, DRAWINGS OR SPECIFICATIONS, AS WELL AS WITH ALL APPLICABLE BUILDING CODES.
- K. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS. VERIFY USE OF SIMILAR DETAILS WITH ARCHITECT PRIOR TO PROCEEDING. LOCATIONS OF SEALANT, CAULKING, AND FLASHING, ETC., SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S RECOMMENDATIONS AND STANDARD INDUSTRY PRACTICE.
- L. CONTRACTOR IS TO INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. IN THE EVENT THAT MANUFACTURER'S SPECIFICATIONS CONFLICT WITH THE DRAWINGS, THEN CONTACT THE ARCHITECT AND OWNER FOR RESOLUTION.
- M. PROVIDE ALL SUBMITTALS REQUESTED FOR ARCHITECT'S REVIEW INCLUDING MATERIAL SAMPLES, IN FIELD PAINT-OUTS AND CABINET AND OTHER REQUESTED SHOP DRAWINGS.
- N. CONTRACTOR SHALL NOT DUMP ANY PLASTER, PAINT, OR SOLID WASTES ON THE SITE OR THROUGH THE SITE WASTE DISPOSAL SYSTEM. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS. THE CONTRACTOR SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE. SEE CONSTRUCTION WASTE MANAGEMENT PLAN.
- O. THE CONTRACTOR SHALL CONDUCT THE FINAL CLEANING OF ALL AREAS AFFECTED BY THIS WORK. HE SHALL VISUALLY INSPECT ALL EXTERIOR AND INTERIOR SURFACES AND REMOVE ALL DIRT, WASTE, STAINS, PAINT DROPPINGS, CLEAN AND POLISH ALL GLASS EITHER INSTALLED OR AFFECTED BY THIS WORK.
- P. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SMALLER SCALE DWGS, TYP.
- Q. GREAT CARE HAS BEEN TAKEN TO ENSURE KEY ELEMENTS ALIGN AND ARE PLACED ON CENTER (AS NOTED). CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY DESIGNER AND OWNER SHOULD ANY DISCREPANCIES OCCUR TO MAINTAIN DESIGN INTENTIONS.
- R. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. CABINET DIMENSIONS AND CLEAR DIMENSIONS ARE TO THE FACE OF FINISH (FACE OF CABINET). CONCRETE AND CONCRETE BLOCK DIMENSIONS ARE TO FACE OF CONCRETE AND CONCRETE BLOCK. ALL VERTICAL DIMENSIONS ARE TO THE TOP OF THE STRUCTURAL FLOOR SHEATHING UNLESS OTHERWISE NOTED.
- S. WINDOW AND DOOR LOCATIONS ARE TYPICALLY GIVEN IN THE PLANS. COORDINATE WITH SPECIFIC MFR. DOOR & WINDOW PRODUCTS FOR REQ'D R.O. DIMENSIONS.
- T. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR THE USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. ALL QUESTIONS, DISCREPANCIES, AND CLARIFICATIONS BROUGHT TO THE ARCHITECT'S & OWNER'S ATTENTION WILL BE SENT BY THE CONTRACTOR VIA E-MAIL.
- U. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE PREPARED BY THE ARCHITECT EXCLUSIVELY AND COPYRIGHT OF THE ARCHITECT ALONE AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AGREEMENT BETWEEN THE ARCHITECT AND PROJECT OWNER, SUBJECT TO THE PROVISIONS OF THE CONTRACT BETWEEN OWNER AND ARCHITECT.

**CALGREEN MANDATORY MEASURE GENERAL NOTES**

- CALGREEN 4.410 BUILDING MAINTENANCE AND OPERATION  
4.410.1 OPERATION AND MAINTENANCE MANUAL. SAMPLE FORM FOUND HERE: <https://www.hcd.ca.gov/building-standards/calgreen/cal-green-forms.shtml> AT THE TIME OF FINAL INSPECTION; A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:
1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
  2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
    - A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGERS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
    - B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
    - C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
    - D. LANDSCAPE IRRIGATION SYSTEMS.
    - E. WATER REUSE SYSTEMS.
  3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
  4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
  5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
  6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
  7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
  8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
  9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
  10. A COPY OF ALL SPECIAL INSPECTIONS VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

CALGREEN 702.2 SPECIAL INSPECTION [HCD]. WHEN REQUIRED BY THE ENFORCING AGENCY, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE ENFORCING AGENCY FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. IN ADDITION TO OTHER CERTIFICATIONS OR QUALIFICATIONS ACCEPTABLE TO THE ENFORCING AGENCY, THE FOLLOWING CERTIFICATIONS OR EDUCATION MAY BE CONSIDERED BY THE ENFORCING AGENCY WHEN EVALUATING THE QUALIFICATIONS OF A SPECIAL INSPECTOR:

1. CERTIFICATION BY A NATIONAL OR REGIONAL GREEN BUILDING PROGRAM OR STANDARD PUBLISHER.
2. CERTIFICATION BY A STATEWIDE ENERGY CONSULTING OR VERIFICATION ORGANIZATION, SUCH AS HERS RATERS, BUILDING PERFORMANCE CONTRACTORS, AND HOME ENERGY AUDITORS.
3. SUCCESSFUL COMPLETION OF A THIRD PARTY APPRENTICE TRAINING PROGRAM IN THE APPROPRIATE TRADE.
4. OTHER PROGRAMS ACCEPTABLE TO THE ENFORCING AGENCY.

NOTES:  
1. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.  
2. HERS RATERS ARE SPECIAL INSPECTORS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION (CEC) TO RATE HOMES IN CALIFORNIA ACCORDING TO THE HOME ENERGY RATING SYSTEM (HERS).

CALGREEN 703 VERIFICATIONS  
703.1 DOCUMENTATION. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED APPLICABLE CHECKLIST.



**NEW RESIDENTIAL ADDITION  
APN 037-333-200  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019**

**PROJECT DESCRIPTION**

THIS PROJECT INCLUDES THE CONSTRUCTION OF A NEW 768 SF NEW ADDITION TO AN EXISTING SINGLE FAMILY HOME.

**SITE DATA**

APN:	037-333-200
NET LOT SIZE:	7,689 SF
ZONING DISTRICT:	R-1/S-17/ DR/ CD
FLOOD ZONE:	
YEAR BUILT:	
HISTORIC STATUS:	NONE
EASEMENTS:	NONE
MINIMUM SETBACKS:	
FRONT:	20'
REAR:	20'
INTERIOR SIDES:	15' COMBINED, 5' MIN. 1 SIDE

**EXISTING STRUCTURE**

HEIGHT:	16'-7"
STORIES:	1 STORY

**PROPOSED STRUCTURE**

HEIGHT:	24'-1"
STORIES:	2 STORIES

**PROJECT DATA**

CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3
(E) STORIES:	1
(F) STORIES:	2
SOLAR ARRAY:	N/A
FIRE SPRINKLER:	
MAIN HOUSE:	NONE

**AREA CALCULATIONS**

SITE AREA	7,689 SF
<b>ALLOWABLE FAR (0.53)</b>	<b>4,075 SF</b>
(E) MAIN HOUSE (NO CHANGE):	1,116 SF
(E) GARAGE (NO CHANGE):	441 SF
(E) FLOOR AREA:	1,557 SF
(N) ADDITION - 1ST FLOOR	+ 420 SF
(N) ADDITION - 2ND FLOOR	+ 366 SF
<b>(N) FLOOR AREA:</b>	<b>2,343 SF</b>
<b>ALLOWABLE LOT COVERAGE (.35):</b>	<b>2,691 SF</b>
(E) MAIN HOUSE (NO CHANGE):	1,116 SF
(E) GARAGE (NO CHANGE):	441 SF
(E) COVERED PATIO (NO CHANGE):	271 SF
(E) COVERED PORCH TO DEMO:	61 SF
(E) LOT COVERAGE:	1,889 SF
(N) ADDITION 1ST FLOOR	+ 420 SF
(E) COVERED PORCH TO DEMO:	- 61 SF
<b>(N) LOT COVERAGE:</b>	<b>2,248 SF</b>

**PROJECT DIRECTORY**

**CLIENT**  
DUSTIN & ELYANE STEFANICK  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019  
TEL: (831) 332-9383  
dustystefanick@gmail.com

**DESIGNER**  
KELEIGH GRIM  
1522 W 40TH STREET  
FREMONT, MI 49412  
TEL: (303) 746-0661  
keleighgrim@gmail.com

**STRUCTURAL ENGINEER**  
BRIAN DOTSON CONSULTING ENGINEER  
PO BOX 371022  
MONTARA, CA 94037  
TEL: (650) 722-0219  
bdce@spcgloba.net

**ENERGY ANALYST**  
EMERALD ECO  
ERIC SWEET CEA CGBP  
415-515-2405  
www.emeraldECO.com

**SHEET INDEX**

G0.01	TITLE SHEET
G0.02	CAL GREEN CHECKLIST
G0.03	CAL GREEN CHECKLIST
G0.04	CONSTRUCTION WASTE, STORM WATER, & SURVEY
G0.05	ENERGY MANDATORY MEASURES
G0.06	ENERGY ANALYSIS

**ARCHITECTURAL**

A1.01	EXTERIOR 3D VIEWS
A1.02	SITE PLAN
A2.01	FLOOR PLANS
A2.02	ROOF PLANS
A2.02	ELECTRICAL & LIGHTING PLANS
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A5.01	INTERIOR VIEWS
A6.01	BUILDING SECTIONS
A7.01	WINDOW & DOOR SCHEDULE
A8.01	ARCHITECTURAL DETAILS

**STRUCTURAL**

S1.0	STRUCTURAL GENERAL NOTES
S1.1	STRUCTURAL GENERAL NOTES
S2.1	FOUNDATION, FLOOR & ROOF FRAMING
S5.1	DETAILS
S8.1	DETAILS
S8.2	DETAILS
S8.3	DETAILS

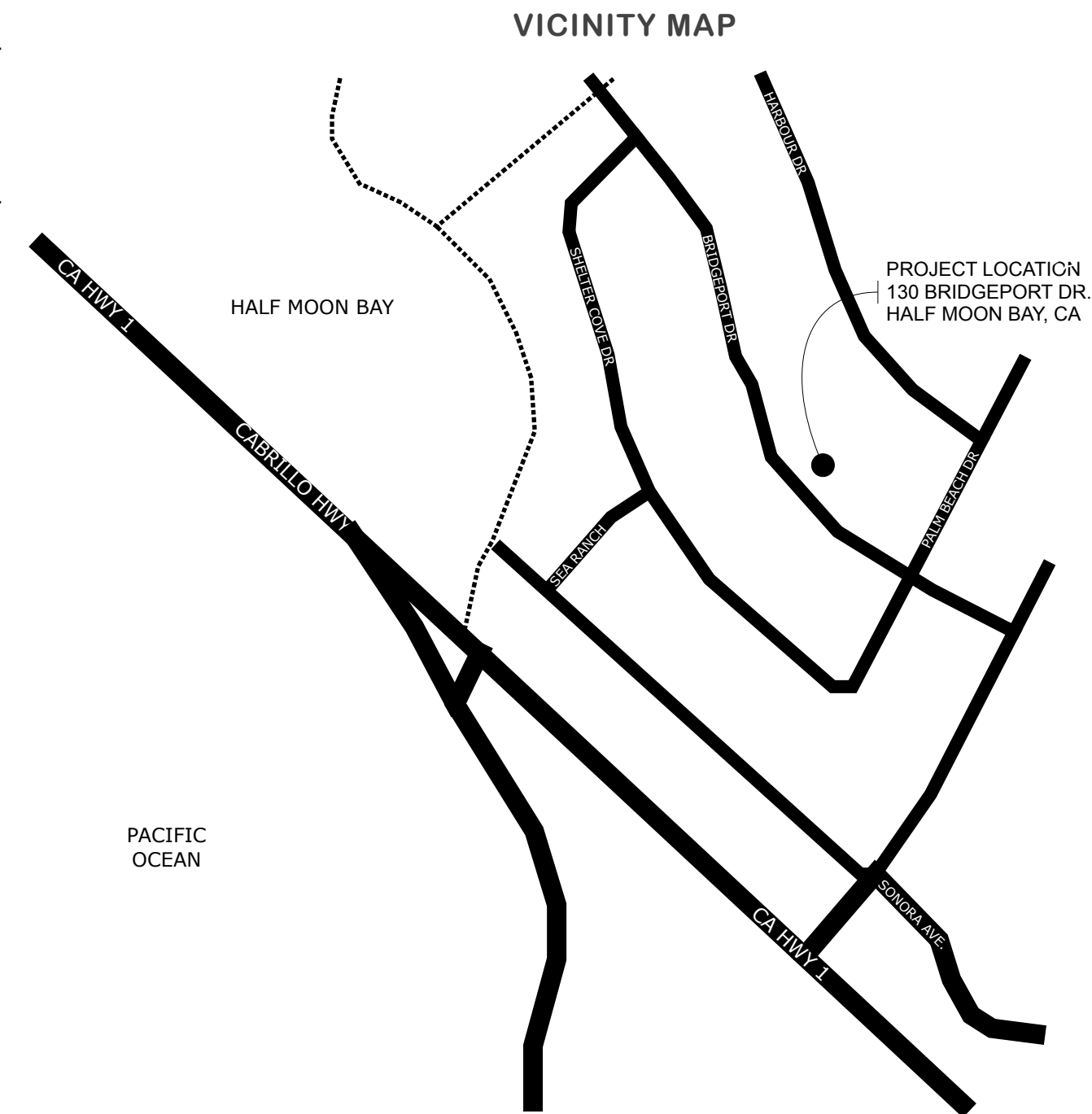
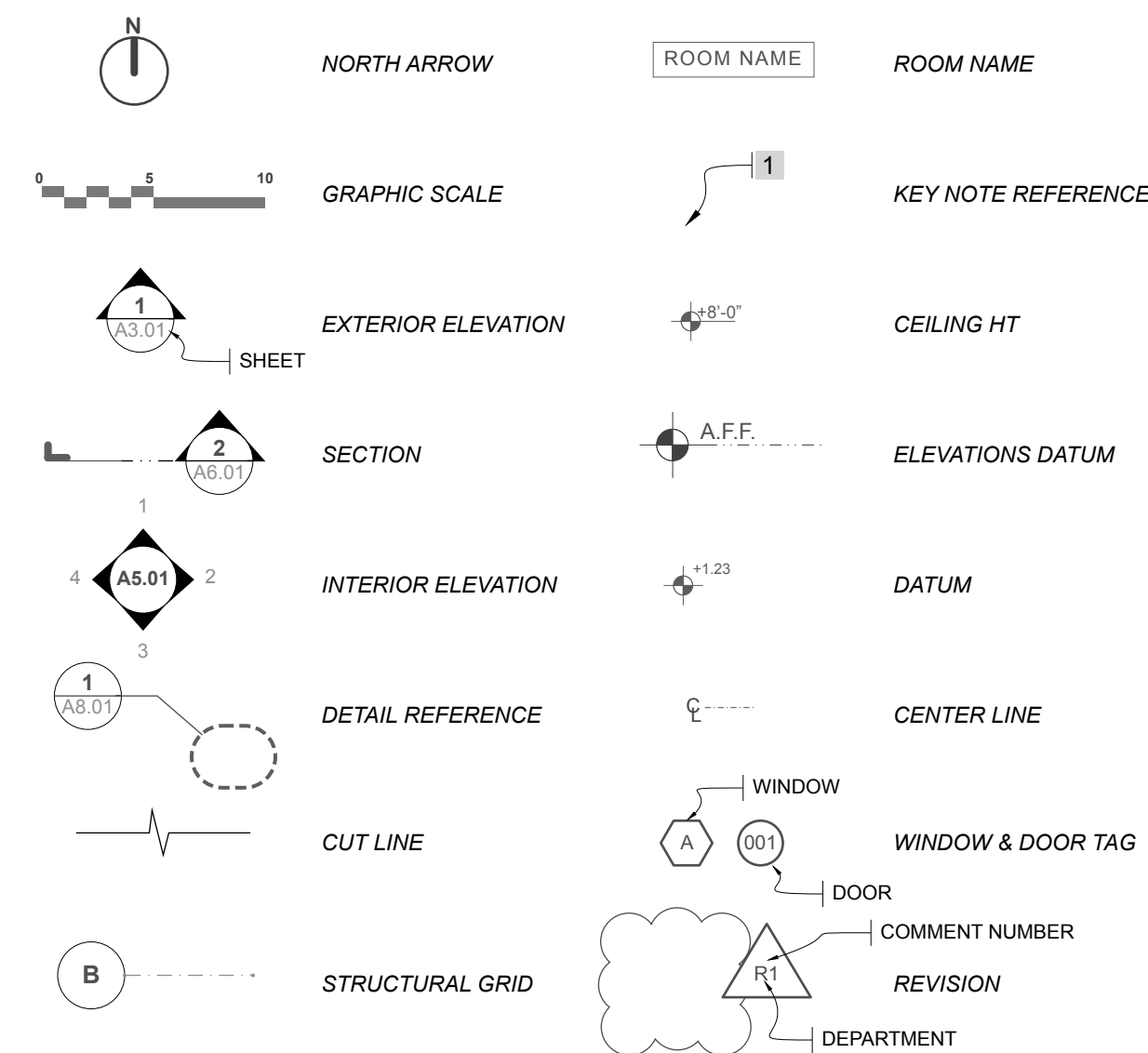
**APPLICABLE CODES**

2019 CALIFORNIA CODE OF REGULATIONS, TITLE 24  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE

PART 2.5 CALIFORNIA RESIDENTIAL CODE  
PART 3 CALIFORNIA ELECTRICAL CODE  
PART 4 CALIFORNIA MECHANICAL CODE  
PART 5 CALIFORNIA PLUMBING CODE  
PART 6 CALIFORNIA ENERGY CODE  
PART 9 CALIFORNIA FIRE CODE  
PART 11 CALIFORNIA GREEN BUILDING STANDARDS

SAN MATEO COUNTY REGULATIONS & MUNICIPAL CODES

**SYMBOL LEGEND**



PROJECT  
**STEFANICK RESIDENCE**  
NEW ADDITION  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
DUSTIN & ELYANE STEFANICK  
PH: (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

ISSUE  
01/15/21  
03/29/21  
Revision 1 - Planning & fire  
PERMIT SET CYCLE 1  
SET CYCLE 2  
CONSTRUCTION SET

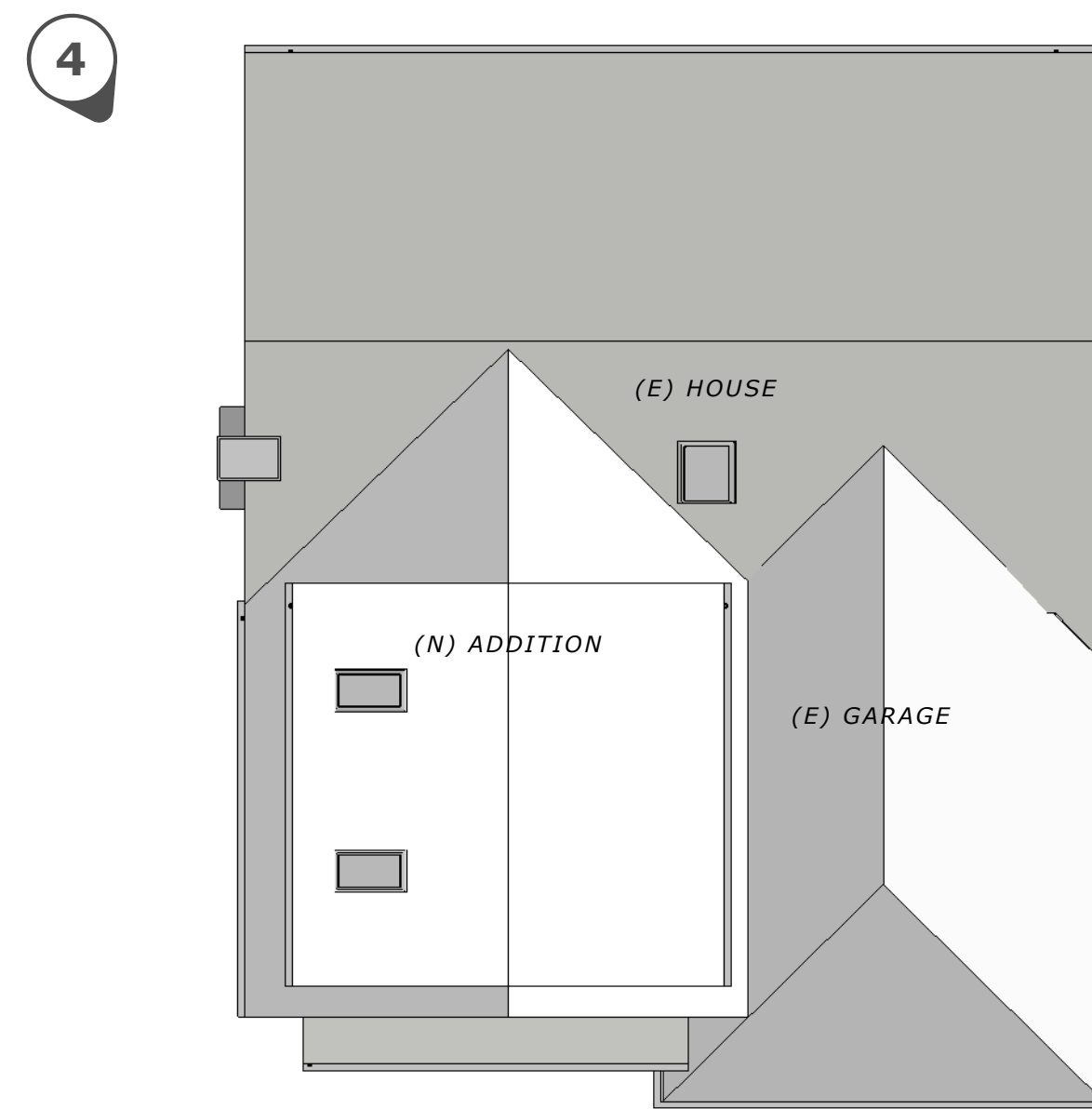
TITLE SHEET



**2** EXTERIOR VIEW  
scale: NTS

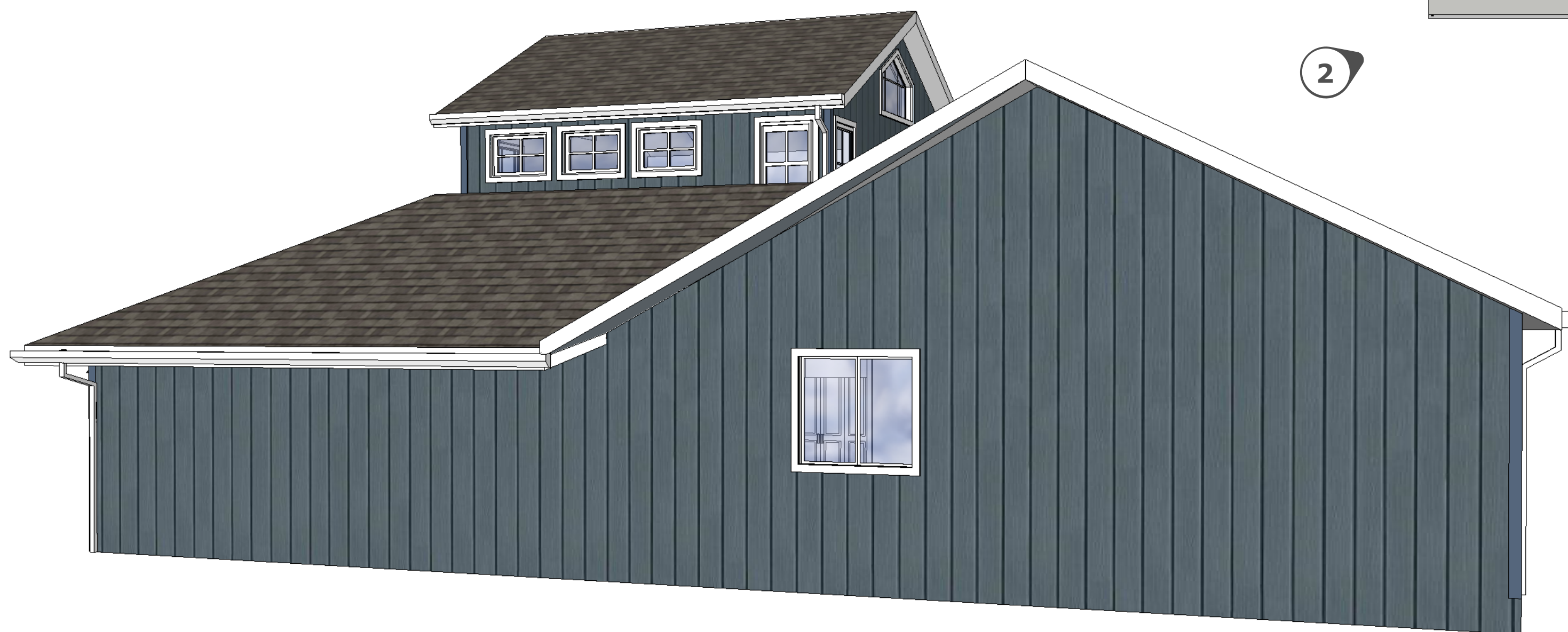


**1** EXTERIOR VIEW  
scale: NTS

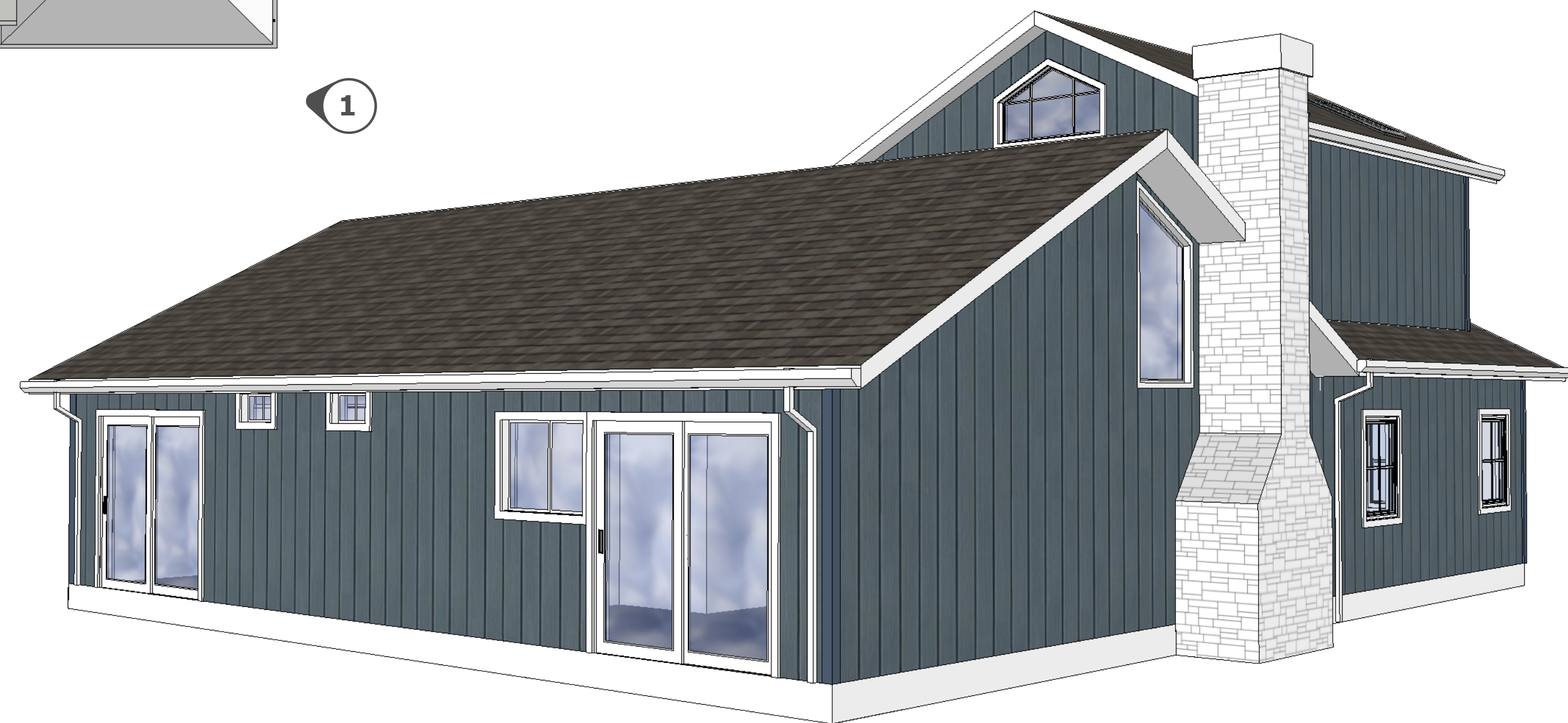


**2**

**1**



**4** EXTERIOR VIEW  
scale: NTS



**3** EXTERIOR VIEW  
scale: NTS

**LEGEND**

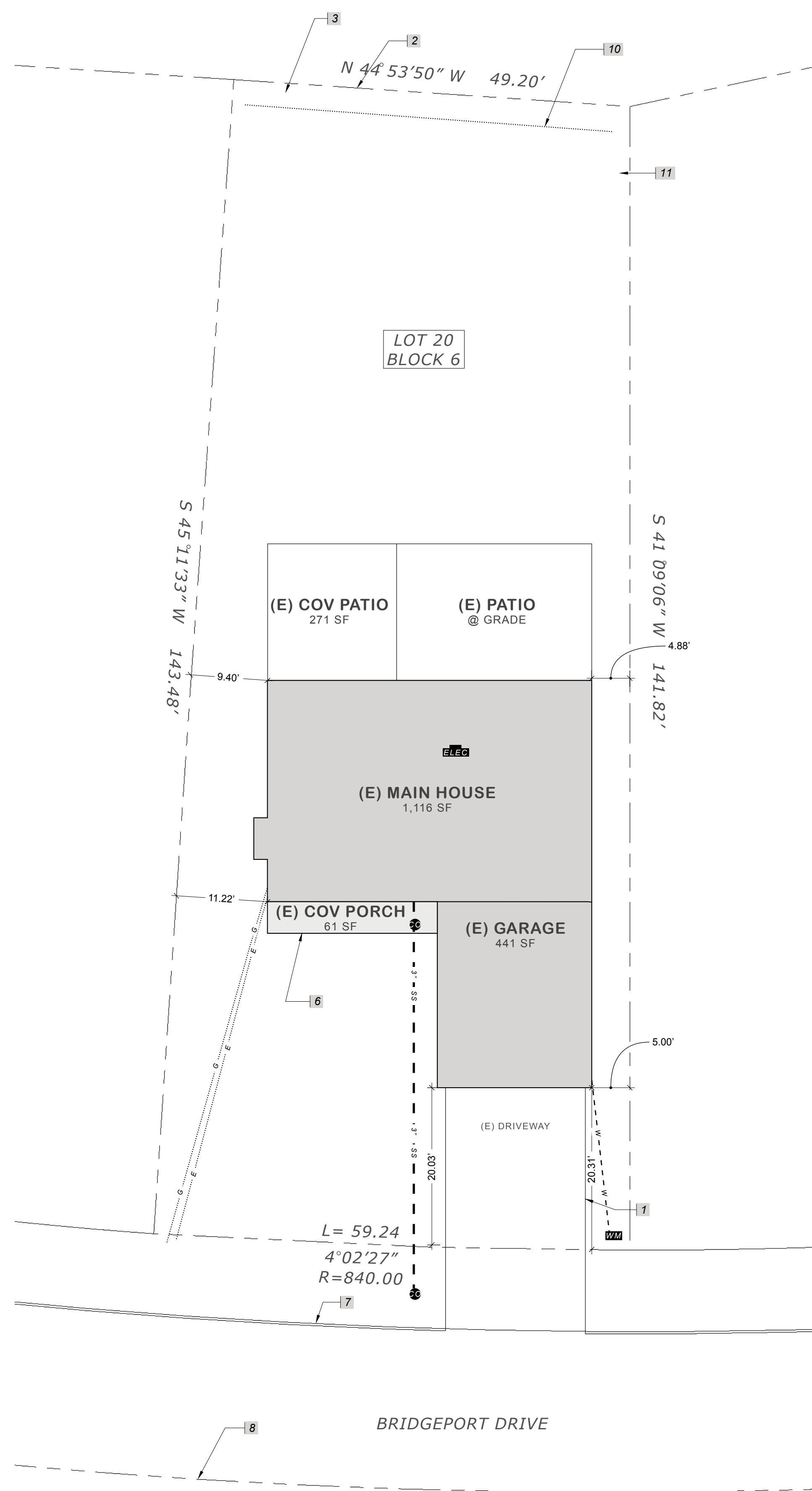
- PROPERTY LINE
- (E) ELEC (E) ELEC PANEL AND METER LOCATION, 200 AMPS
- (N) 100 AMP ELECTRICAL SUB PANEL. PROVIDE CONDUIT (NO SHARING TRENCH) TO (N) SUB PANEL IN ADU.
- (W) (E) WATER METER AND SUPPLY LINE  
EXISTING SIZE: 5/8", UPGRADE TO 3/4"  
FIXTURE UNIT COUNT: 22.5 FIXTURES  
MAXIMUM LENGTH TO FARTHEST FIXTURE: 100'
- (N) (W) (N) WATER SUPPLY LINE TO ADDITION MIN 2" INSULATION AT PIPE. ENCLOSE IN 5" PVC.
- (G) (E) GAS METER AND SUPPLY LINE. NO NEW FIXTURES, WORK OR CONNECTIONS.
- SEWER LINE AND CLEANOUTS. SEE SEWER CONNECTION DEPTH CALC BELOW. CONTRACTOR TO VERIFY SITE CONDITIONS AND NOTIFY ARCHITECT OF FINDINGS. PROVIDE CLEANOUT OUTSIDE EACH BUILDING AND END OF LINE.
- HYVAC MINI SPLIT OUTDOOR CONDENSER UNIT. SEE SPECIFICATIONS ON SHEET M0.01. PROVIDE POWER & CLEARANCES PER SPECIFICATIONS. THIS NOISE PRODUCING EQUIPMENT SHALL BE 20' FROM REAR PROPERTY LINE & 6' FROM SIDE PROP. LINE. PROVIDE MINIMUM 3" CONCRETE PAD.
- TPZ - NO WORK (TPZ (TREE PROTECTION ZONE) DIMENSIONED. PROVIDE TREE PROTECTION FENCING ENCLOSING PROTECTED TREE. SEE SHEET T-1, DETAIL #605, TYPE 2 TREE PROTECTION FOR "PROTECTED TREE".

**KEYNOTES**

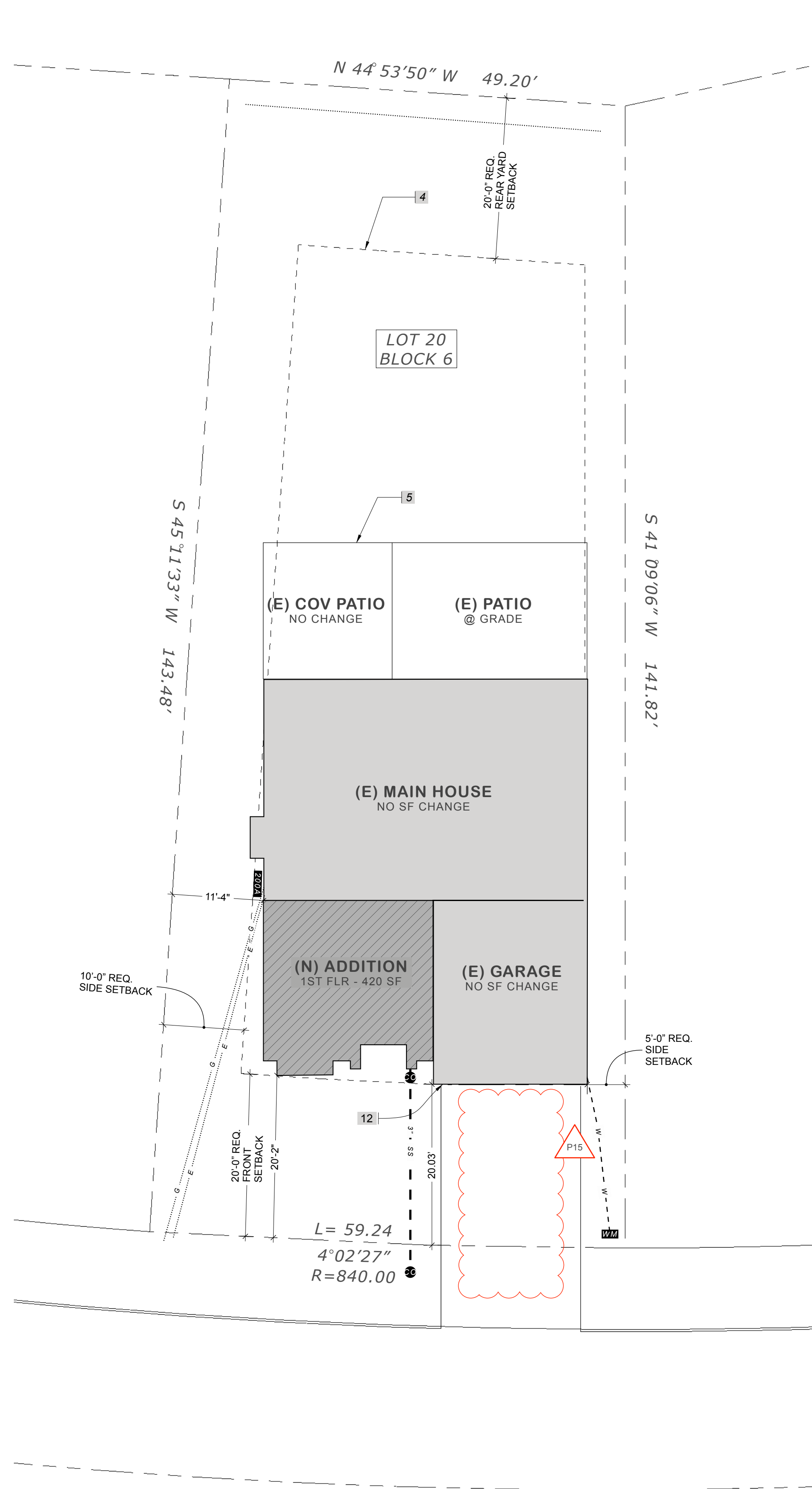
1. (E) DRIVEWAY TO REMAIN WITH TANDEM PARKING: 8.5'x18'
2. PROPERTY LINE TYP.
3. (E) FENCE TYP.
4. LINE OF MIN. REQ. SETBACKS
5. (N) CHANGE TO (E) COVERED PATIO OR OPEN CONCRETE PATIO IN REAR YARD
6. (E) COVERED PORCH TO DEMO
7. (E) CURB
8. (E) C.L. OF BRIDGEPORT DRIVE
9. NO NEW LANDSCAPING
10. (E) RETAINING WALL, NO CHANGES, APPROX. 3' HT.
11. (E) FENCE NOT SHOWN FOR CLARITY, SEE SURVEY FOR FENCE, NO CHANGES
12. RESIDENTIAL BUILDING SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLICS WAY FRONTING THE BUILDING. THE LETTERS/ NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE 4" IN HT W. A MIN. OF 1/2" STROKE. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6'-0" ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.
13. VEGETATION MANAGEMENT (LRA) THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE 2019 CALIFORNIA FIRE CODE 304.1.2. - A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AN DMY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
14. A KNOX PADLOCK OR KEY SWITCH WILL BE REQUIRED IF THERE IS LIMITED ACCESS TO PROPERTY. CRC 506.1. FOR APPLICATION AND INSTRUCTIONS PLEASE EMAIL: jriddel@fire.ca.gov AND cpdfiremarshal@fire.ca.gov. IF YOU NEED FURTHER ASSISTANCE PLEASE CONTACT COASTSIDE FIRE PROTECTION DISTRICT AT (650) 726-5213.

**GENERAL NOTES**

- A. NO EAVE PROJECTIONS BETWEEN 2' - 5' FROM PROPERTY LINE
- B. PROVIDE MINIMUM SLOPES OF 2% TO FACILITATE SITE DRAINAGE.
- C. PROVIDE A MINIMUM SLOPE OF 5% AWAY FROM THE BUILDING FOUNDATION OR 6" FOR 10'.
- D. LIGHT POLLUTION REDUCTION: PALO ALTO IS LIGHTING ZONE 3. INSTALL OUTDOOR LIGHTING THAT MEET THE REQUIRED (BUG) BACKLIGHT, UPLIGHT, AND GLARE RATINGS.
- E. DOWN SPOUTS WHERE SHOWN OPTIONS: ROUT THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
- F. ANY ADDITION TO HARDSCAPING OR PAVED AREA SHALL BE PERMEABLE.
- G. USE AGGREGATE w/ MIN 25% RECYCLED AGGREGATE BY VOLUME FOR WALKWAY AND DRIVEWAY BASE.
- H. MULCH ALL PLANTING BEDS TO >4" (3" MIN AFTER SETTLED) SELECT ORGANIC MULCH (NO ROCK OR RUBBER) THAT WILL IMPROVED SOIL STRUCTURE.
- I. VERIFY HIGH EFFICIENCY IRRIGATION SYSTEM IS INSTALLED. SYSTEM SHOULD USE ONLY LOW-FLOW DRIP BUBBLERS, OR SPRINKLERS. INSTALL A SMART (WEATHER BASED) CONTROLLER.
- J. ALL NEW PLANTS SHALL BE INSTALLED AS FOLLOWS: GROUP ALL (N) PLANTS BY WATER NEEDS. CONSTRUCT RESOURCE EFFICIENT LANDSCAPES. NO INVASIVE SPECIES LISTED BY CAL-IPC. NO PLANTS THAT REQUIRE SHEARING. 75% OF PLANTS NEED TO BE DROUGHT TOLERANT, CALIFORNIA NATIVES OR MEDITERRANEAN SPECIES OR OTHER APPROPRIATE SPECIES, PLANT SHADE TREE
- K. OUT DOOR POTABLE WATER USE IN LANDSCAPE AREAS MUST COMPLY WITH CAL GREEN 4.304. DEVELOPMENTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS: 1)A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE, 2) THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, WHICHEVER IS MORE STRINGENT; OR PROJECTS WITH AGGREGATE LANDSCAPE AREAS LESS THAN 2,500 SQUARE FEET MAY COMPLY WITH THE MWEL'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.



**2 EXISTING SITE PLAN**  
scale: 1"=10'-0"



**1 PROPOSED SITE PLAN**  
scale: 1"=10'-0"





**EROSION CONTROL & BMP NOTES**

1. Erosion Control Point of Contact: ALI ABIANI 408-509-3461, jlkjk8@sbcglobal.net
2. Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
3. Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
4. Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
5. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
6. Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
7. Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
8. Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
9. Limit construction access routes to stabilized, designated access points.
10. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
11. Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
12. Placement of erosion materials at these locations are required on weekdays and during rain events. (List locations)
13. The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
14. Construction sites are required to have erosion control materials on-site during the "off-season."
15. Dust control is required year-round.
16. Erosion control materials shall be stored on-site.
17. Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
18. Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.

**EROSION CONTROL & BMP NOTES**

1. UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS DIRECTED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WHICH DISTURBS SOIL.
2. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING THE AREA ADJACENT TO THE WORK IS LEFT IN A CLEAN CONDITION.
3. WATERING ALL EXPOSED OR DISTURBED SOIL SURFACES AT LEAST TWICE DAILY, AS NECESSARY TO ELIMINATE VISIBLE DUST PLUMES.
4. COVER ALL TRUCKS Hauling SOIL, SAND AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET FREEBOARD LEVEL WITHIN THOSE TRUCK BEDS. ENCLOSE, COVER, OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES OR DEBRIS, SOIL, SAND, OR OTHER MATERIALS.
5. SWEEP DAILY WITH WATER SWEEPERS ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
6. SWEEP STREET DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
7. INSTALL WATTLE BARRIER ALONG THE FRONTAGE OF THE JOB SITE. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.

**ENVIRONMENTAL NOTE:**

ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COOLINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR CCBSC 4.504.2.4

**TREE PROTECTION NOTES**

1. City approved tree protection warning signs are required to be installed and maintained at all times until all construction activities are completed.
2. Required tree protection shall remain in place until all construction activities are completed. No changes to tree protection can be made until a revised tree protection plan is submitted and approved by the City Arborist.
3. Failure to install and maintain required tree protection will result in issuance of a stop work order and implementation of a corrective action plan.

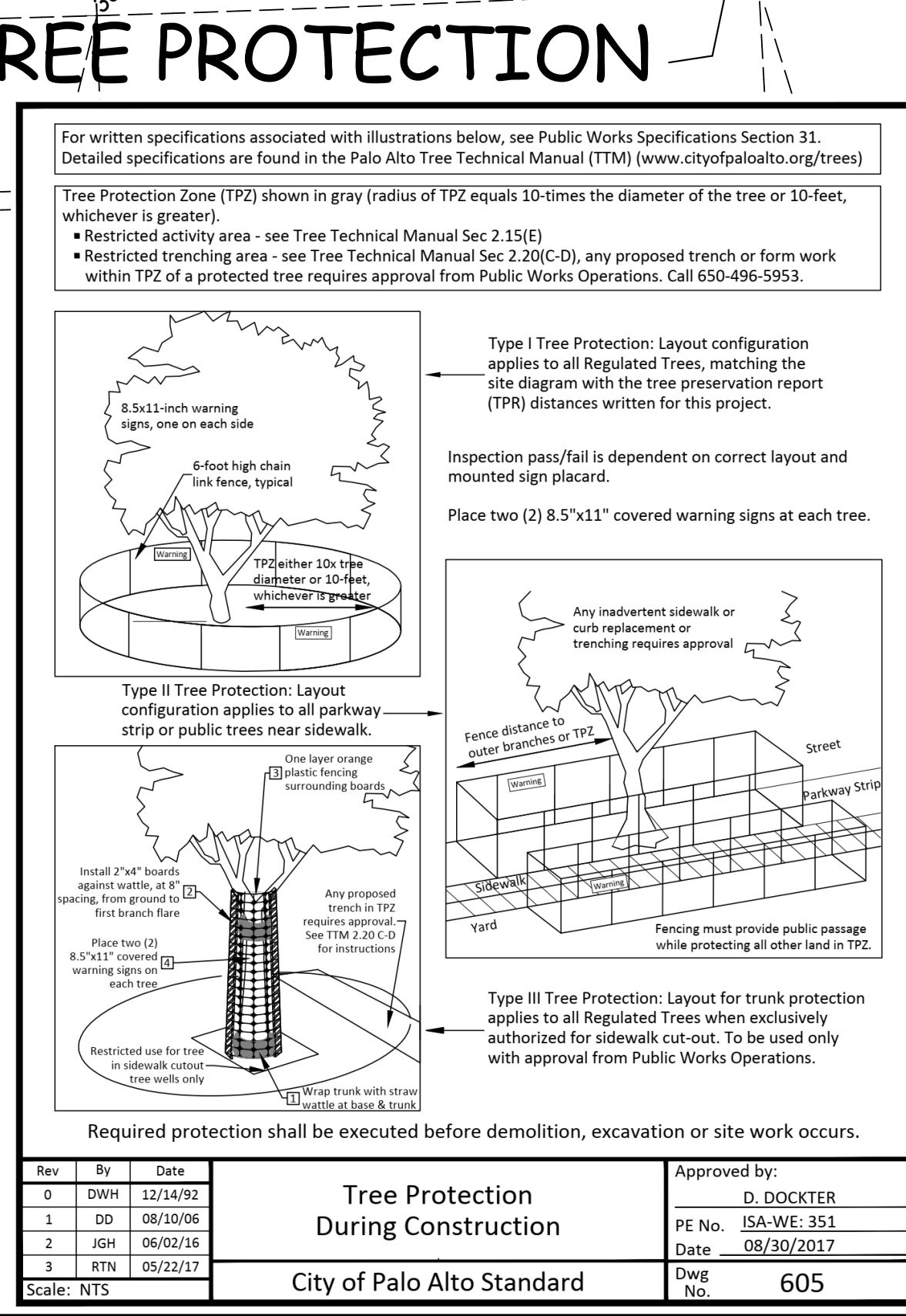
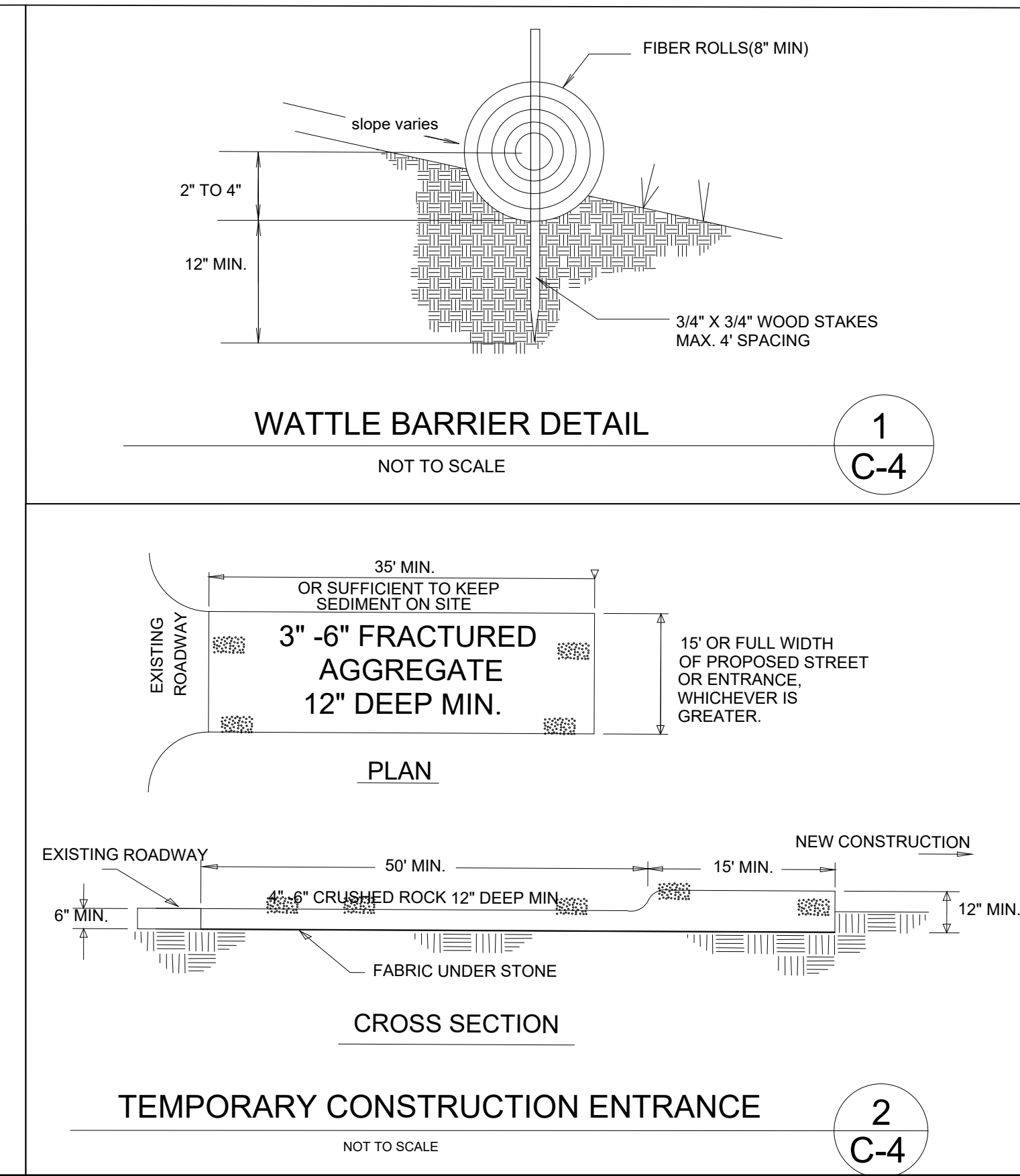
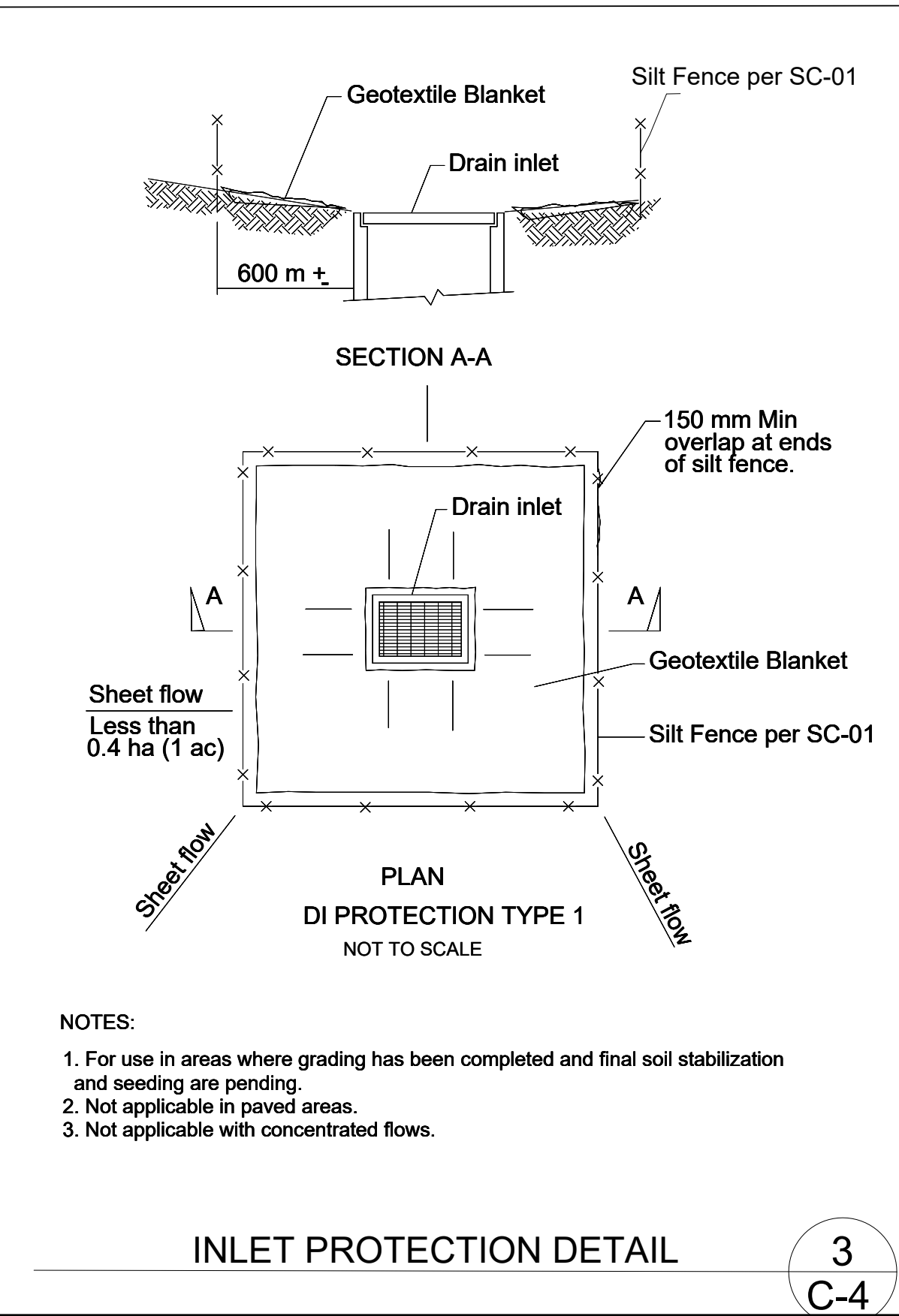
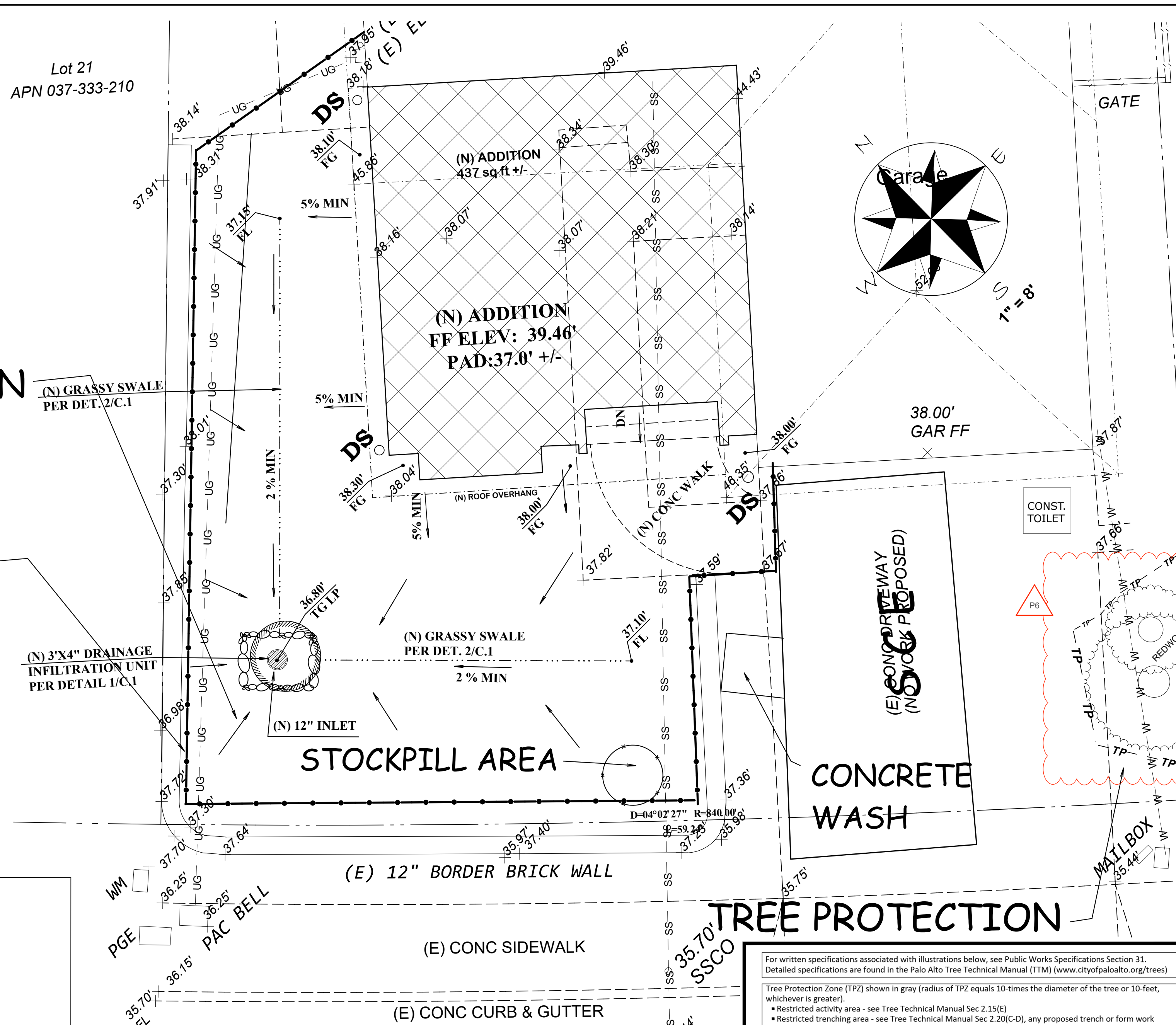
CONSTRUCTION SCHEDULE FROM 05-20-21 TO 12-20-21

**EROSION CONTROL SYMBOLS**

- INDICATES INLET PROTECTION
- INDICATES WATTLE BARRIER
- INDICATES STABILIZED CONSTRUCTION ENTRANCE
- INDICATES TEMPORARY STOCKPILE AREA
- INDICATES TREE PROTECTION FENCING PER STD. DETAIL

**INLET PROTECTION**

**WATTLE BARRIER**



**SEDIMENT EROSION CONTROL PLAN**

130 BRIDGEPORT DRIVE  
EL GRANADA  
SAN MATEO COUNTY  
STATE OF CALIFORNIA

**JLK ASSOCIATES**  
SURVEYORS / ENGINEERS  
73 CEDAR LANE  
SAN JOSE, CA. 95127  
408-910-3230

**CLIENT**  
DUSTIN & ELYANE STEFANICK  
PH. (831) 332-9383  
dustystefanick@gmail.com  
elyanestefanick@gmail.com

**PROJECT**  
STEFANICK RESIDENCE  
NEW ADDITION  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

**SCALE:** AS NOTED

**SHEET:** C-2

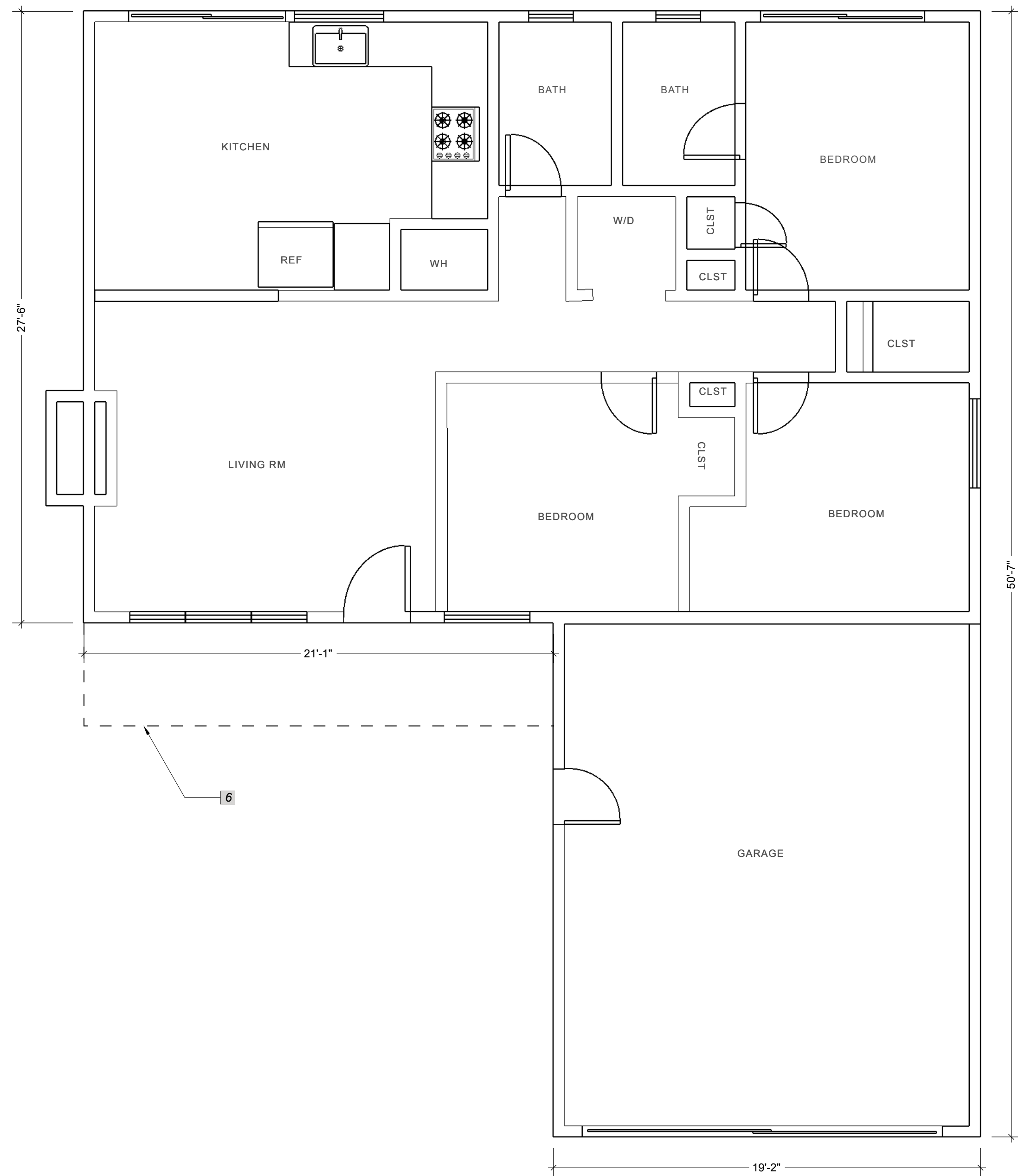
**haven design build**

HAVEN DESIGN

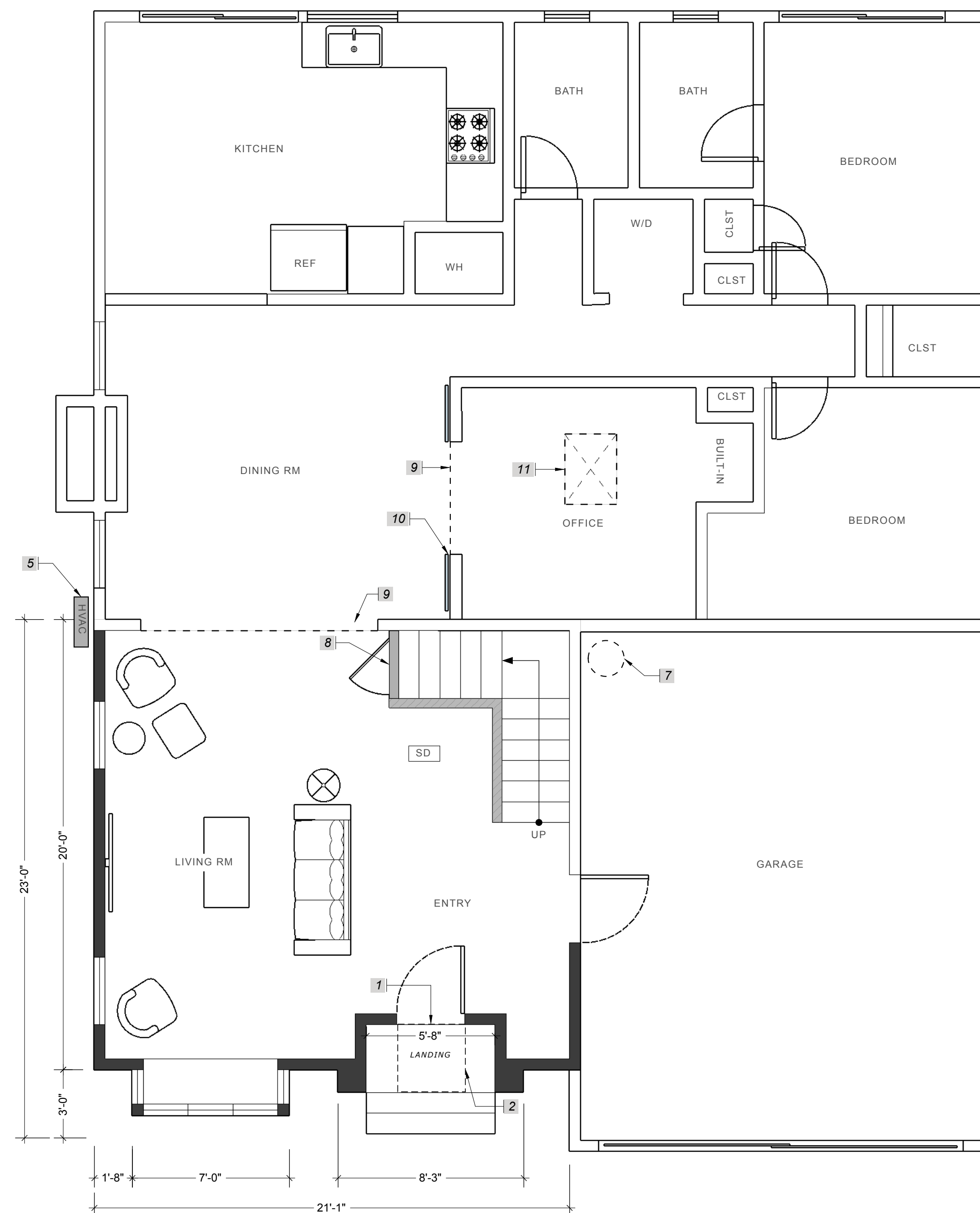
HAVEN DESIGN BUILD, LLC  
KELIGH GRIM, DESIGNER  
PH. (303) 746-0661  
kelighgrim@gmail.com

**EROSION CONTROL PLAN**

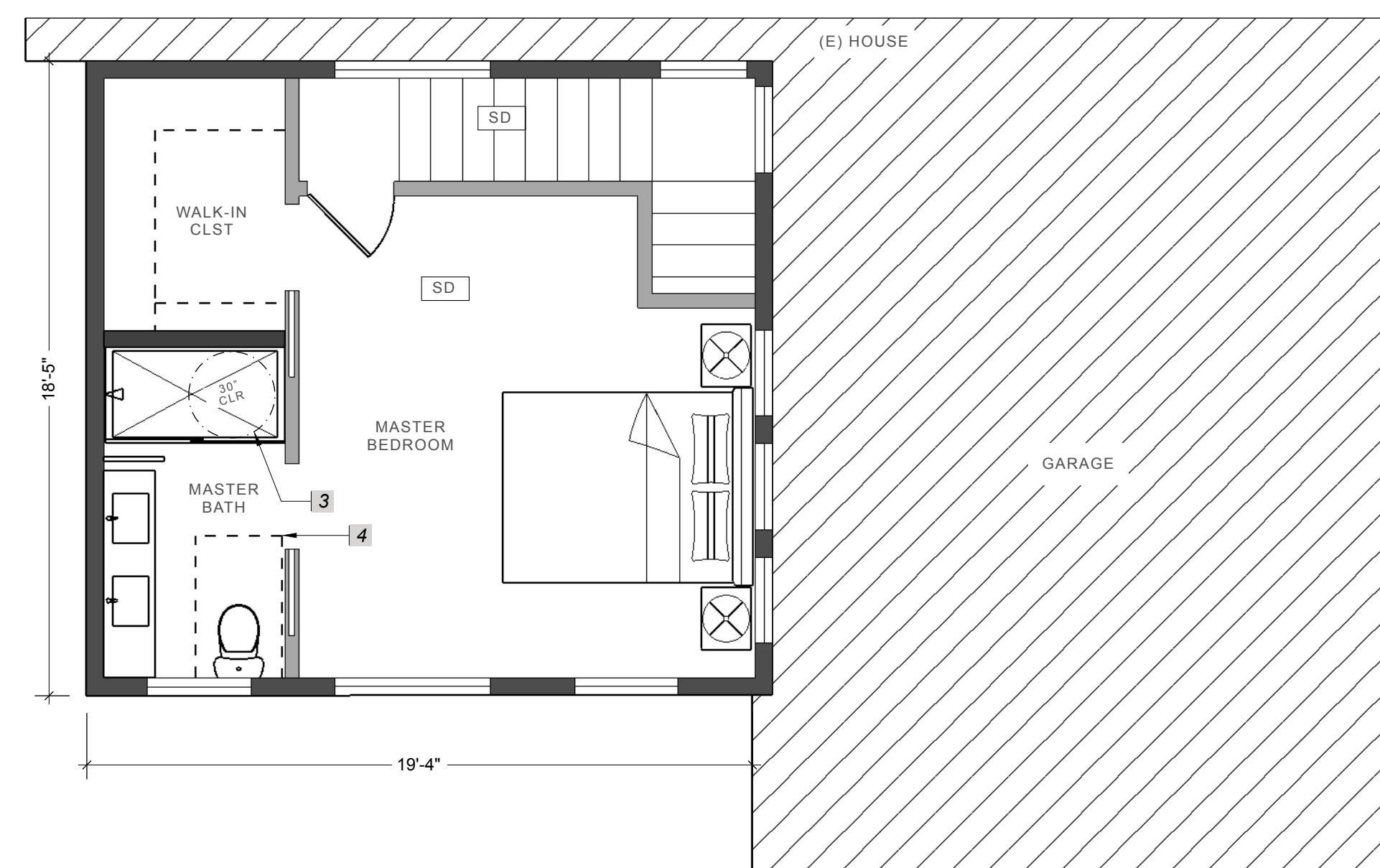
**C2**



**1 EXISTING 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"



**2 PROPOSED 1ST FLOOR PLAN**  
scale: 1/4"=1'-0"



**3 EXISTING 2ND FLOOR PLAN**  
scale: 1/4"=1'-0"

**WALL LEGEND**

	EXISTING	2X4	R-15	Inside Finish: Gypsum Board each side Cavity / Frame: Batt / 2x4 Exterior Finish: Cement Board siding	
	INTERIOR	2X4	BATT	Inside Finish: Gypsum Board each side Cavity / Frame: no insulation / 2x4	
	INTERIOR	2X6	BATT	Inside Finish: Gypsum Board Cavity / Frame: R-19 / 2x6 Exterior Finish: Wet board, Tile	
	EXTERIOR	2X6	R-21	Inside Finish: Gypsum Board Cavity / Frame: R-21 / 2x6 Exterior Finish: Cement Board siding	1/A8.01

**KEYNOTES**

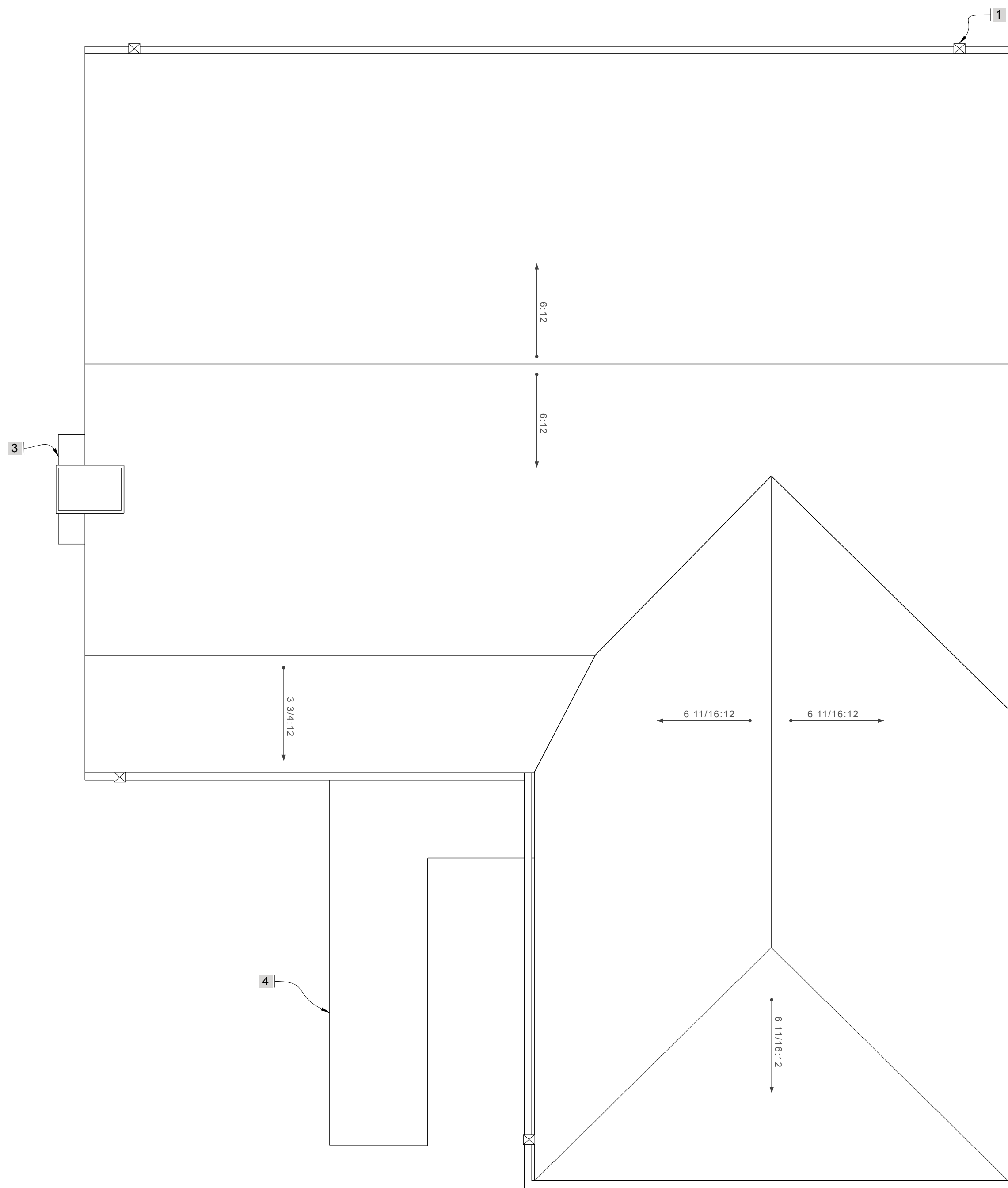
- EGRESS DOOR: 36" WIDE, SIDE HINGED (PROVIDE 32" MIN CLEAR) PROVIDE LANDING: MIN. 36" DEEP SLOPED MIN 1/4" PER FOOT, THRESHOLD: (IN-SWING DOOR MAX 7.75", OUT SWING DOOR MAX 1.5")
- LANDING: MIN 36" DEEP LANDING AT ALL EXTERIOR DOORS. PROVIDE A MIN SLOPE OF 1/4" VERTICAL IN 12" HORIZONTAL (2%) FOR DRAINAGE AWAY FROM THE BUILDING. LANDING TO BE A MAXIMUM OF 7.75" BELOW DOOR THRESHOLD FOR AN IN-SWING DOOR OR 1.25" BELOW DOOR THRESHOLD FOR AN OUT-SWING DOOR PER CRC R311.3.1
- SHOWER: SIZE: MINIMUM 1024 SQ-INCHES & MIN 30" DIAM CIRCLE. WALLS: SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A MIN HEIGHT OF 7'2" AFF AND 4" HORIZONTALLY BEYOND THE WATER ENCLOSURE. SHOWER HEAD: MOUNTED MIN 6'-8" HIGH. LOCATED SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY (CPC 408.9). CONTROL VALVE: SHOWER VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING TYPE ADJUSTED TO A MAX OF 120 DEG. LOCATE SO BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER. SPRAY (CPC 408.9). THRESHOLD: AT SHOWER TO BE MIN 2" AND MAX 9". IF CURB IS FLUSH, EXTEND WATER PROOF MEMBRANE UNDER TILE FOR A MIN OF 48". PROVIDE TEMPERED SHOWER DOORS WITH 22" MIN. OPENING & SHALL OPEN TO MAINTAIN A 22" MIN. UNOBSTRUCTED OPENING PER CPC 408.5
- TOILET: 30" MIN CLEAR WIDTH AND 24" CLEAR IN FRONT.
- MINI SPLIT OUTDOOR CONDENSER UNIT, SEE A2.06 FOR SPECIFICATIONS.
- (E) COVERED PATIO TO DEMO
- (N) WATER HEATER: HEAT PUMP WATER HEATER. SEE SHEET E0.01 FOR SPECIFICATIONS.
- STORAGE CLOSET UNDER STAIR, FINISH OUT W/ SHEET ROCK
- OPEN UP (E) WALL W/ (N) STRUCTURAL HEADER PER SE, SEE SE FRAMING PLAN & NOTES
- (N) CUSTOM BARN STYLE DOORS ON AN OVERHEAD WALL MT. TRACK
- (N) SKYLIGHT, SEE DOOR WINDOW SCHEDULE FOR SIZE & SPEC ON A2.02
- SMOKE DETECTORS WHICH ARE HARD WIRED: AS PER THE CBC, STATE FIRE MARSHAL REGULATIONS, AND COASTSIDE FIRE DISTRICT ORDINANCE 2019-03, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHAL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARD WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MIN. OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL. DATE OF INSTALLATION MUST BE ADHERED TO THE EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.
- SMOKE ALARM/ DETECTORS TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACK-UP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

**GENERAL NOTES**

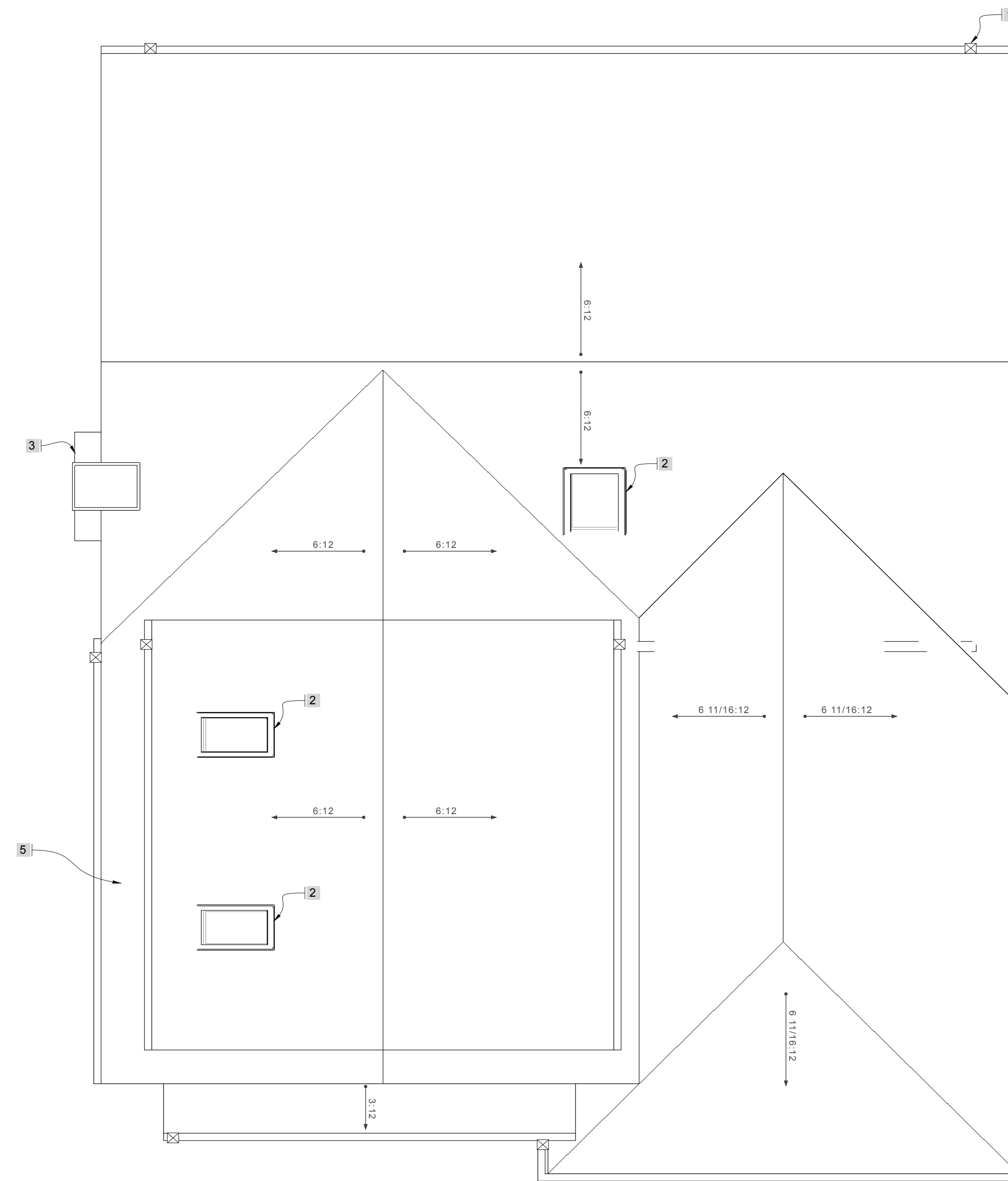
- GYP BOARD: FINISH WITH LEVEL 4-5 FINISH. INSTALL SHEETROCK PERPENDICULAR TO FRAMING MEMBERS. JOINTS TO BE STAGGERED ON OPPOSITE SIDES OF THE FRAMING MEMBERS. ELECTRICAL OUTLET MAX SETBACK 1/4" FROM DRYWALL FACE AND NO SIDE GAPS MORE THAN 1/8" TO ELECTRICAL OUTLET. INSTALL CEILING DRYWALL OVER EDGE OF WALL PANEL OR GYPSUM. DOUBLE LAYER DRYWALL ON SAME AND OPPOSITE SIDES OF FRAMING SHALL HAVE JOINTS OFFSET.
- BASE FOR TILE IN SHOWER AND TUB COMPARTMENTS SHALL BE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS. USE LISTED FASTENERS THAT ARE CORROSION RESISTANT. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/ SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
- BASE FOR TILE IN WATER CLOSET COMPARTMENT WALLS: WATER RESISTANT GYPSUM BOARD/ GREEN BOARD SHALL BE INSTALLED. LEAVE A 1/4" SPACE BETWEEN THE WATER RESISTANT PANEL AND THE LIP OF THE RECEPTOR/SHOWER PAN/TUB AND APPLY SILICONE CAULKING.
- LOW EMITTING FINISHES: FOR A LIST OF ALLOWABLE VOC LIMITS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATINGS SEE TABLES PER CAL GREEN SECTION 4.504.2 ON SHEET G0.05 SHEET. ALL NEW PAINT FINISHES TO BE LOW VOC INTERIOR WALL/CEILING PAINTS <50 GRAMS PER LITER (gpl) VOCs REGARDLESS OF SHEEN). LOW-VOC CAULK <70g/L IN ALL INTERIOR APPLICATIONS (FRAMING, SUBFLOORS, COUNTERS, TRIMS, TUB/SHOWERS). COMPOSITE WOOD PRODUCTS ALLOWABLE VOC REFER TO TABLE ON SHEET A0.04. 50% OF FLOORING TO BE LOW VOC EMITTING.
- PLUMBING FIXTURE FLOW RATES: SHOWER HEAD (MAX 1.8 GPM @80 COMBINED TOTAL FOR ALL HEADS IN SHOWER UNIT), LAVATORY FAUCET (MAX 1.2 GPM @60PSI, MIN .8 GPM @20PSI), KITCHEN FAUCET (1.8 GPM @60 PSI), METERING FAUCETS (.25 GAL/CYCLE), WATER CLOSET (1.28 GAL/FLUSH INCLUDING TOTAL DUAL FLUSH), URINALS (0.125 GAL/FLUSH), DISHWASHER (4.25 GAL/ CYCLE), COMPACT DISHWASHER (3.5 GAL/CYCLE), CLOTHES WASHER (WATER FACTOR OF 6 GAL/ CU FT OF DRUM CAPACITY)
- MOISTURE CONTENT OF BUILDING MATERIALS: DO NOT INSTALL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE. DO NOT ENCLOSE WALL AND FLOOR FRAMING MOISTURE CONTENT EXCEEDS 19%. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: 1) A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER (OR EQUIVALENT METHOD APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.) OR 2) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED. OR 3) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

**KEYNOTES**

1. GUTTER & DOWNSPOUT: ROUTE THROUGH PERMEABLE LANDSCAPING, OR INSTALL SPLASH BLOCKS (MIN 2' LONG) WHERE DOWNSPOUTS DAYLIGHT.
2. SKYLIGHT: SKYLIGHT: MIN 5' FROM PROPERTY LINE, FIXED VELUX SKYLIGHT VELUX, MODEL FS 21X26 (3.5 SF OF GLAZING) VERIFY FRAMING CLEARANCES. APPROVED LISTING NUMBER: WDMA #426-H-707 & IAPMO UES-0199 SKYLIGHT OPERABLE. ROOF VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2. APPROVED LISTING: WDMA #426-H-707 & IAPMO UES-0199 SOLOTUBE SKYLIGHT: MIN 5' FROM PROPERTY LINE: FIXED/NON OPERABLE VELUX
3. (E) CHIMNEY, NO CHANGE
4. (E) CONC. WALK BELOW, NO CHANGE, FOR REFERENCE ONLY
5. (N) ROOFING TO MATCH (E), SEE LEGEND ON A3.01



**1** EXISTING ROOF PLAN  
scale: 1/4"=1'-0"



**2** PROPOSED ROOF PLAN  
scale: 1/4"=1'-0"

PROJECT  
**STEFANICK RESIDENCE**  
**NEW ADDITION**  
130 BRIDGEPORT DRIVE  
HALF MOON BAY, CA 94019

CLIENT  
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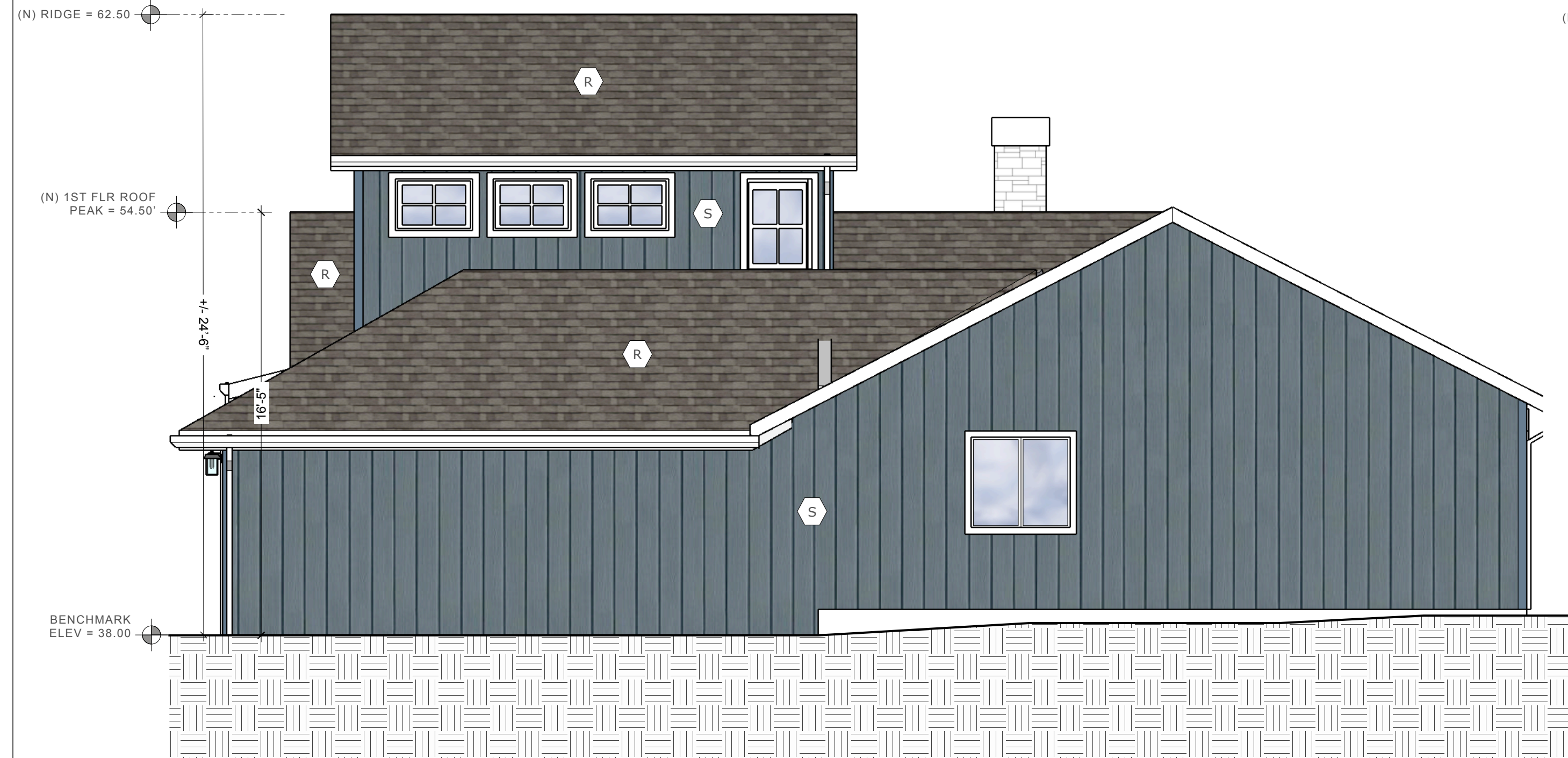
ISSUE	DATE
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PERMIT SET CYCLE 2	
CONSTRUCTION SET	

**LEGEND**

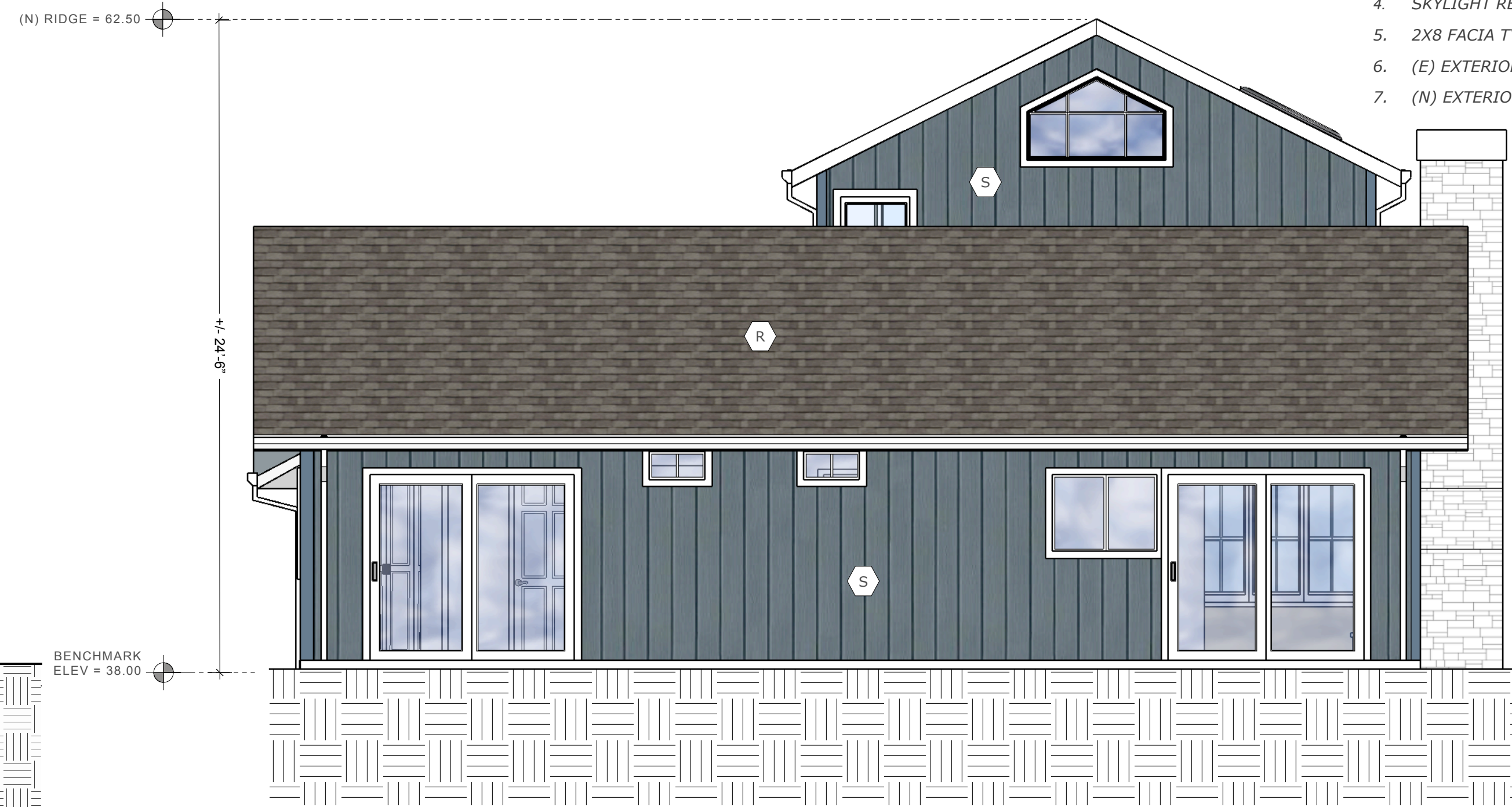
- S SIDING: BOARD & BATTON CEMENT BOARD TO MATCH EXISTING. SIDING AND TRIM TO MATCH EXISTING HOME
- R ROOFING: CLASS A COMP SHINGLE OVER UNDERLAYMENT PER CBC R905. TO MATCH EXISTING. MUST MEET COOL ROOF COMPLIANCE COMPOSITION SHINGLE OVER UNDERLAYMENT PER CBC R905. COOL ROOF PER TITLE 24. TO MEET ALL REQUIREMENTS OF COASTSIDE FIRE DISTRICT ORDINANCE 2019-03 - CLASS B OR HIGHER FOR ALL ROOFING & ROOFING MATERIALS AS DEFINED BY CBC.

**KEYNOTES**

1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF w/ ENTRY DOOR, CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.



**3** PROPOSED EXTERIOR ELEVATION - EAST  
scale: 1/4"=1'-0"



**1** PROPOSED EXTERIOR ELEVATION - NORTH  
scale: 1/4"=1'-0"



**4** EXISTING EXTERIOR ELEVATION - EAST  
scale: 1/4"=1'-0"



**2** EXISTING EXTERIOR ELEVATION - NORTH  
scale: 1/4"=1'-0"

E6 (E) NO CHANGE. NOTE: APPROVED SPARK ARRESTOR IS REQUIRED, MUST BE MADE OF 12-GUAGE WOVEN OR WELDED WIRE SCREENING HAVING OPENINGS NOT EXCEEDING 1/2".

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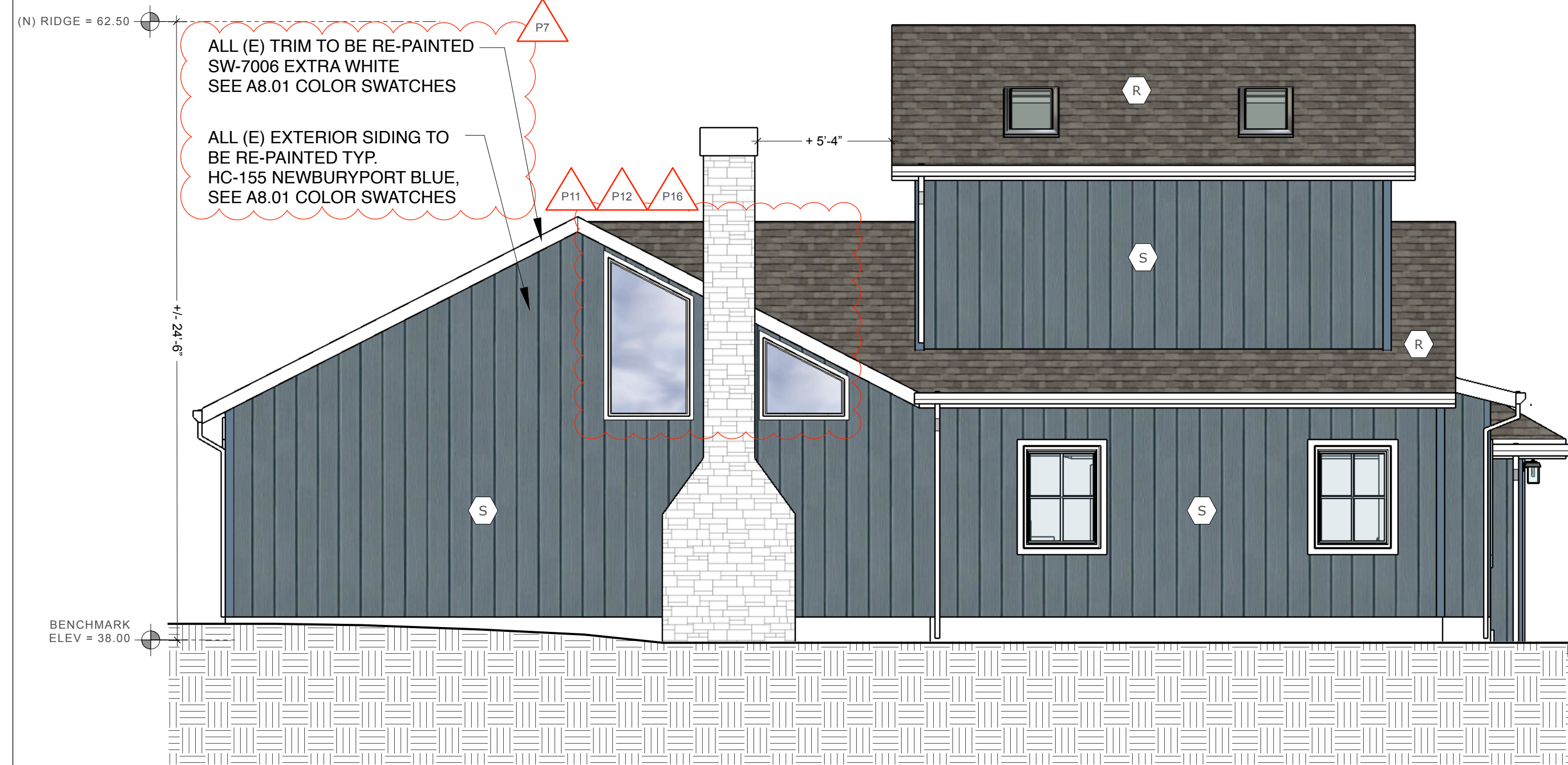
EXTERIOR  
ELEVATIONS

**LEGEND**

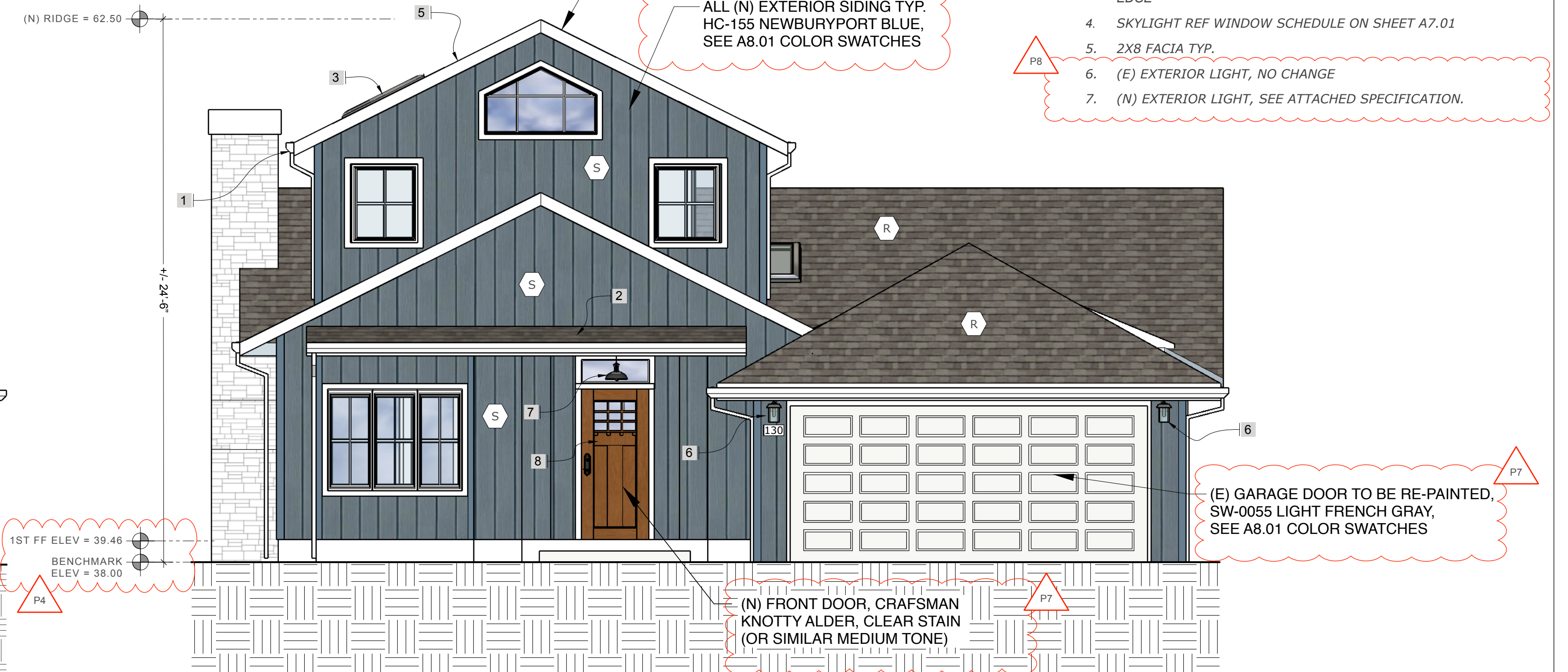
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**KEYNOTES**

1. DAYLIGHT PLANE FROM EXISTING GRADE
2. GUTTERS AND DOWNSPOUTS TO MATCH EXISTING
3. METAL AWNING ROOF of ENTRY DOOR, CUSTOM w/ INTEGRAL DRIP EDGE
4. SKYLIGHT REF WINDOW SCHEDULE ON SHEET A7.01
5. 2X8 FACIA TYP.
6. (E) EXTERIOR LIGHT, NO CHANGE
7. (N) EXTERIOR LIGHT, SEE ATTACHED SPECIFICATION.



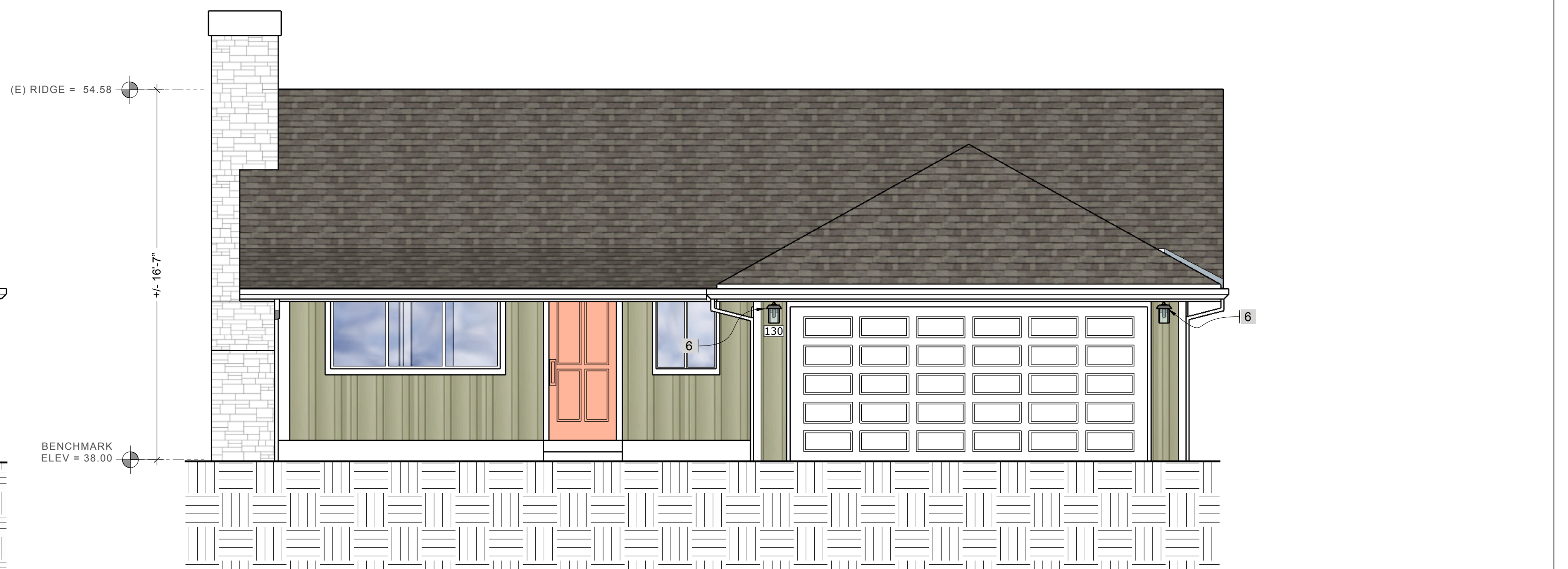
**3** PROPOSED EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"



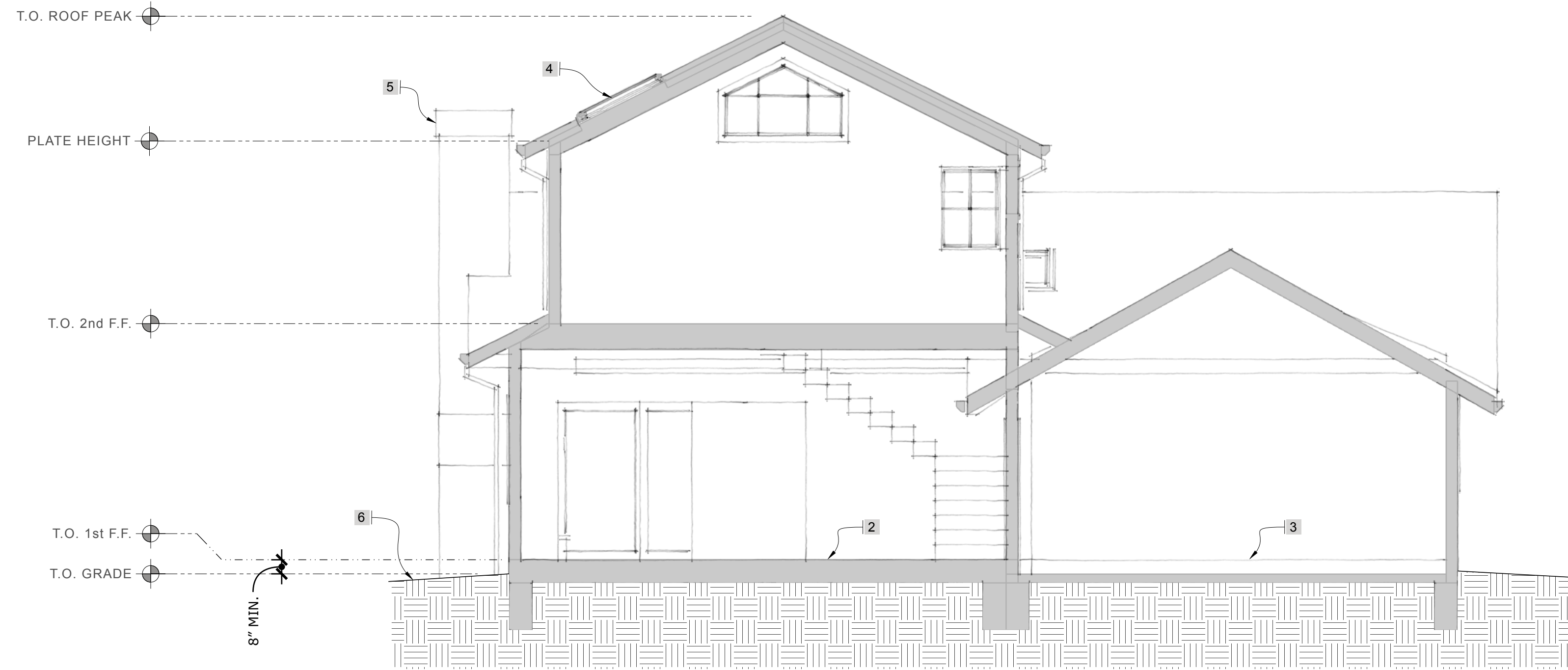
**1** PROPOSED EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"



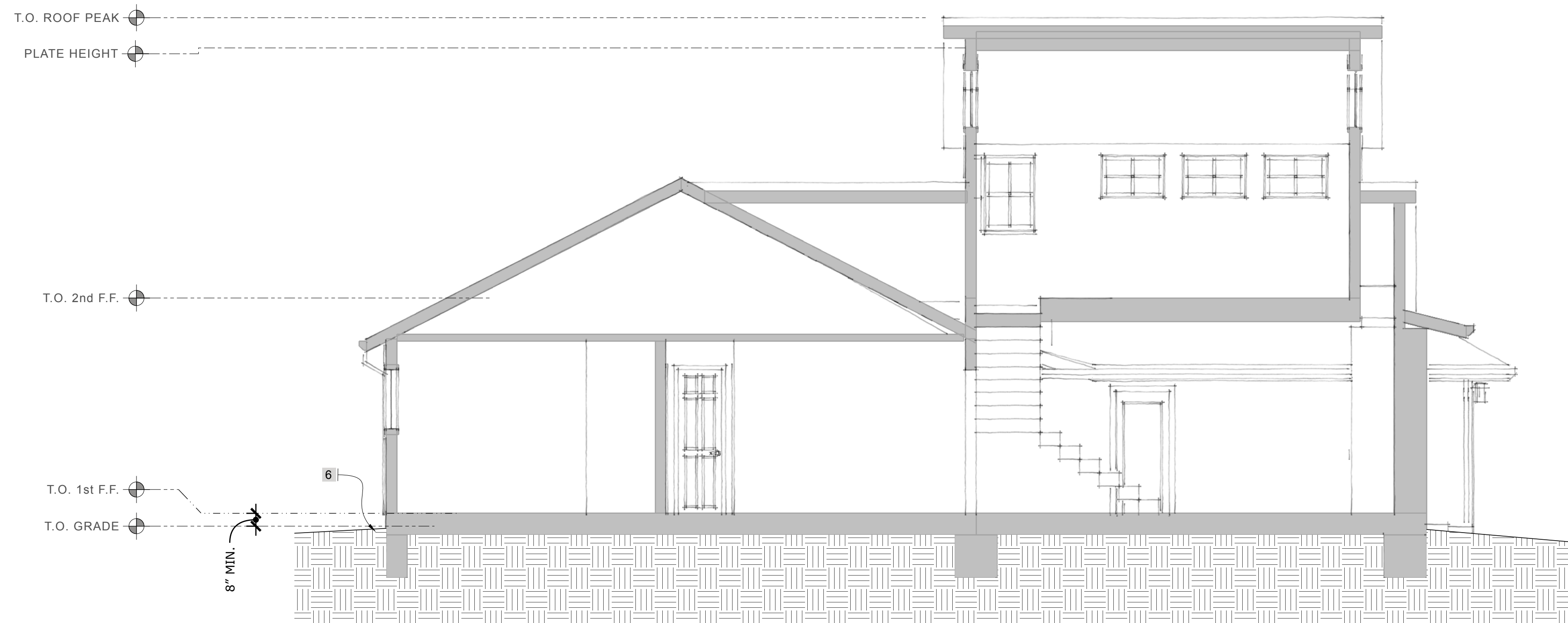
**4** EXISTING EXTERIOR ELEVATION - WEST  
scale: 1/4"=1'-0"



**2** EXISTING EXTERIOR ELEVATION - SOUTH  
scale: 1/4"=1'-0"



**1** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"



**2** PROPOSED BUILDING SECTION  
scale: 1/4"=1'-0"

**KEYNOTES**

1. ROOF OVERHANG @ GABLE ENDS, SEE EXT. ELEVATIONS SHEET A3.01
2. NEW FOUNDATION & FINISHED FLOOR PER STRUCTURAL ENGINEER - IN PROGRESS
3. EXISTING CONCRETE SLAB @ GARAGE - NO CHANGE
4. (N) SKYLIGHT TYP.
5. (E) CHIMNEY BEYOND, NO CHANGE
6. SLOPE GRADE AWAY FROM FOUNDATION, 1/8" PER 1'-0" FOR 10'-0"

**GENERAL NOTES**

- A. PROVIDE RODENT PROOFING AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- B. PROVIDE FIRE BLOCKING AT CEILING AND FLOOR PENETRATIONS, AND TOP AND BOTTOM PLATE OF WALLS. APPROVED FOAM AND CAULKING (RECOMMEND SILICONIZED CAULKING) SHALL BE CERTIFIED MATERIALS THAT RESIST THE FREE PASSAGE OF FLAME A FIRE BLOCKING SHALL BE INSTALLED AT OPENING AROUND VENTS, PIPES, TUB AND SHOWER TRAPS, DUCTS, ELECTRICAL WIRE, CHIMNEYS AND FIRE PLACES AT CEILING AND FLOOR LEVELS WITH APPROVED MATERIALS.
- C. DO NOT INSTALL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE. MOISTER CONTENT SHALL BE MEASURED AND RECORDED PER SHEET A0.04.
- D. DO NOT INSTALL WET INSULATION. REPLACE AND REINSTALL.

**CALGREEN MANDATORY: INTERIOR MOISTURE CONTROL**

CALGREEN 4.505 INTERIOR MOISTURE CONTROL  
4.505.1 GENERAL. BUILDINGS SHALL MEET OR EXCEED THE PROVISIONS OF THE CALIFORNIA BUILDING STANDARDS CODE.

4.505.2 CONCRETE SLAB FOUNDATIONS. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CALIFORNIA BUILDING CODE, CHAPTER 19, OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY THE CALIFORNIA RESIDENTIAL CODE, CHAPTER 5, SHALL ALSO COMPLY WITH THIS SECTION.

4.505.2.1 CAPILLARY BREAK. A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

1. A 4-INCH (101.6 MM) THICK BASE OF 1/2 INCH (12.7MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
2. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
3. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

1. MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR CONTACT-TYPE MOISTURE METER.EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS FOUND IN SECTION 101.8 OF THIS CODE.
2. MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE STAMPED END OF EACH PIECE VERIFIED.
3. AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

PROJECT  
**STEFANICK RESIDENCE**  
NEW ADDITION  
130 BRIDGEPORT DRIVE  
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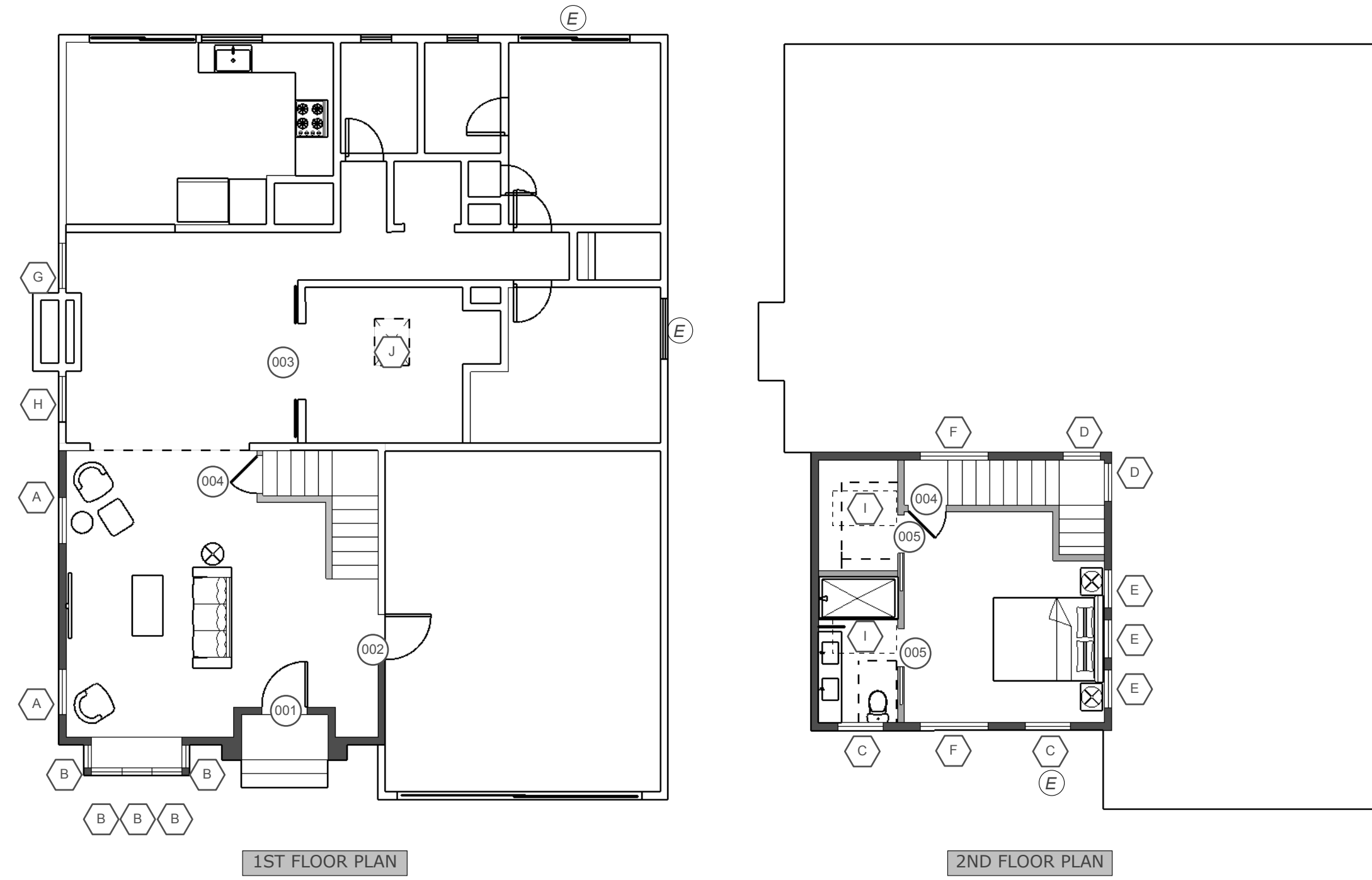
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SET CYCLE 2  
CONSTRUCTION SET

BUILDING  
SECTION

VERIFY CLEAR OPENINGS  
ON SITE BEFORE  
ORDERING WINDOWS

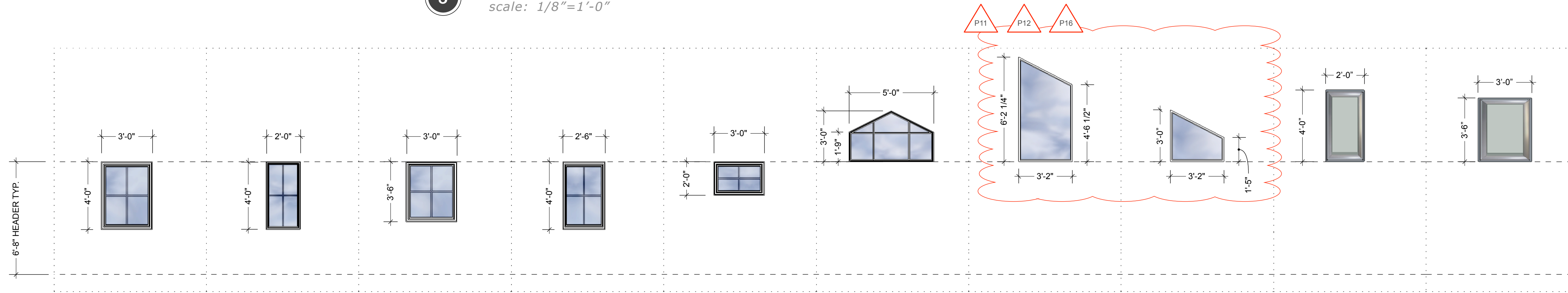
APPROVED  
LISTING #:  
WDMA #426-H-707  
IAPMO UES-0199



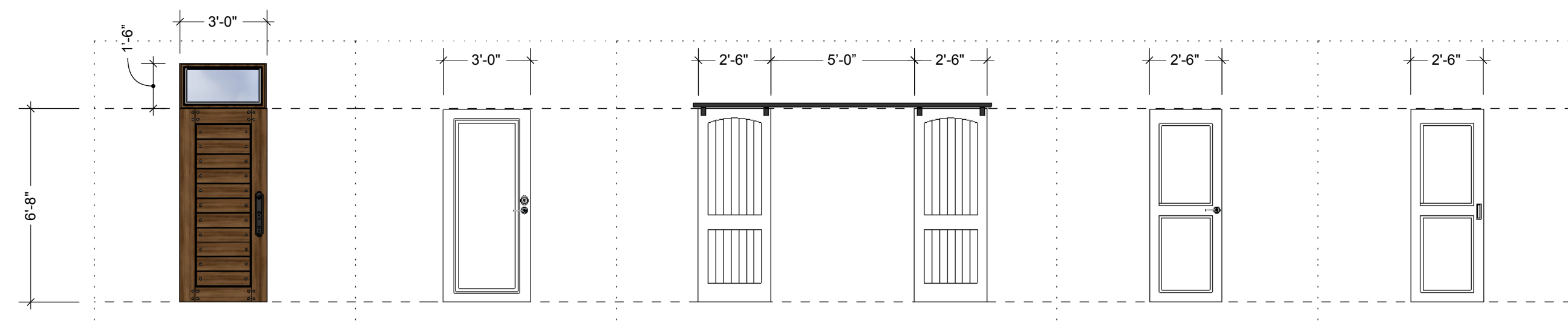
**SCHEDULE NOTES**

- (T) PROVIDE TEMPERED GLASS IN HAZARDOUS LOCATIONS:
  - GLAZING IN DOORS, GLAZING WITHIN 24" ADJACENT TO DOORS & <60" ABOVE THE FLOOR.
  - GLAZING IN WINDOWS GREATER THAN 9 SF, WHERE BOTTOM IS LESS THAN 18" A.F.F., TOP OF GLAZING IS 36" A.F.F. AND IS WITHIN 36" OF WALKING SURFACE.
  - GLAZING <36" ABOVE STAIR
  - SHOWER OR WET LOCATIONS WITHIN 60" MEASURED HORIZONTALLY.
- (E) EGRESS WINDOWS IN ALL BEDROOMS:
  - 5.7 SF
  - NET CLEAR OPENING 20" W & 24" H
  - SILL <44" A.F.F.
  - TO MEET CFC 1030

**3 DOOR & WINDOW TAGS**  
scale: 1/8"=1'-0"



WINDOW	A	B	C	D	E	F	G	H	I	J
QUANTITY	2	5	2	2	3	2	1	1	2	1
DESCRIPTION	LIVING ROOM WINDOWS	LIVING ROOM WINDOWS	BEDROOM WINDOWS	STAIRWELL WINDOWS	BEDROOM WINDOWS	BEDROOM/ STAIRWELL	DINING ROOM WINDOW	DINING ROOM WINDOW	MASTER BATH/ CLOSET	OFFICE/ DEN
SIZE	36X48	24X48	36X42	30X48	36X24	60X36 CUSTOM	38X74 CUSTOM	38X36 CUSTOM	24X48 SKYLIGHT	36X42 SKYLIGHT
TYPE	DOUBLE HUNG	FIXED	CASEMENT	SINGLE HUNG	AWNING	FIXED	FIXED	FIXED	FIXED	FIXED
U/SHGC VALUES	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17	.30/.17
NOTES		(T) TEMPERED	(E)						(T) TEMPERED	(T) TEMPERED



DOOR TAG	1	2	3	4	5
QUANTITY	1	1	2	2	1
TYPE	EXTERIOR SOLID CORE W/ TRANSOM WINDOW	EXTERIOR SOLID CORE	SLIDING DOOR ON BARN STYLE OVERHEAD TRACK	INTERIOR SOLID CORE DOOR	INTERIOR POCKET DOOR
SIZE	36X98	36X80	30X80	30X80	30X80
GLAZING			CUSTOM PER HOMEOWNERS		
NOTES		PROVIDE LOCKSET			

PROJECT  
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DOOR & WINDOW  
SCHEDULE

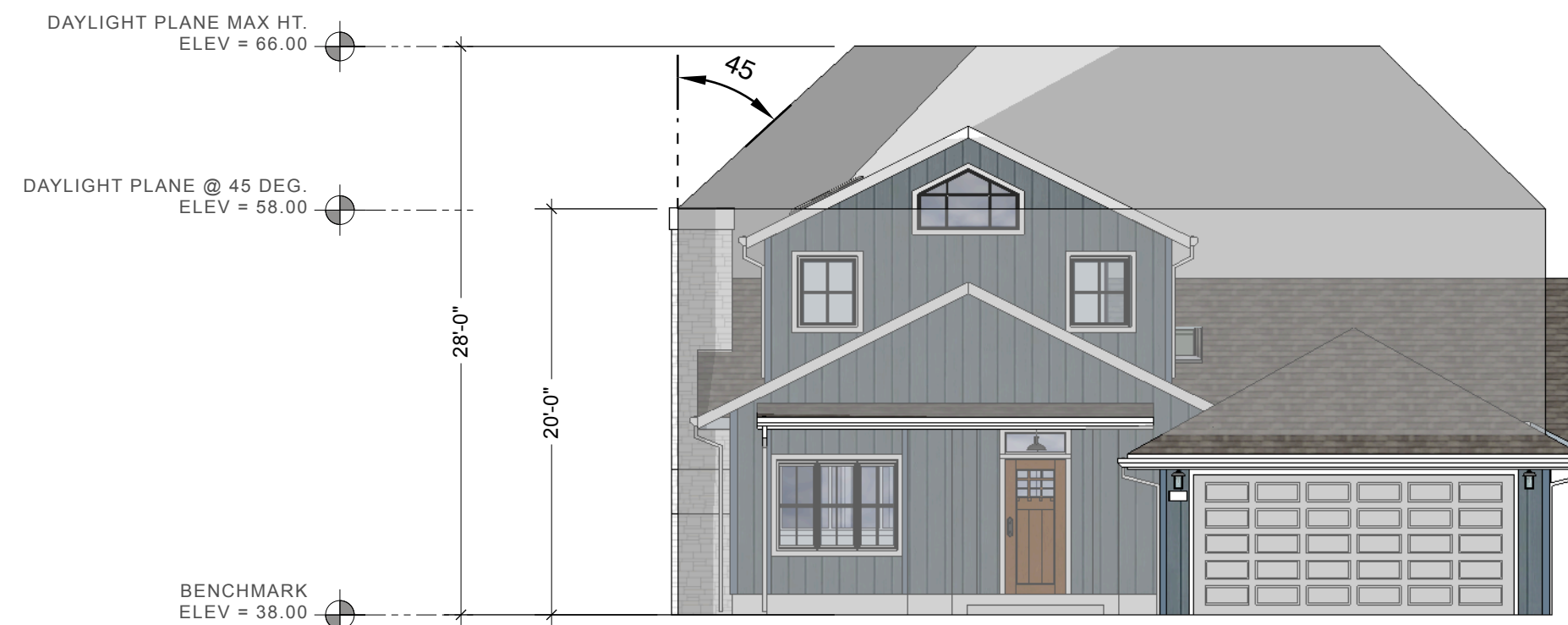
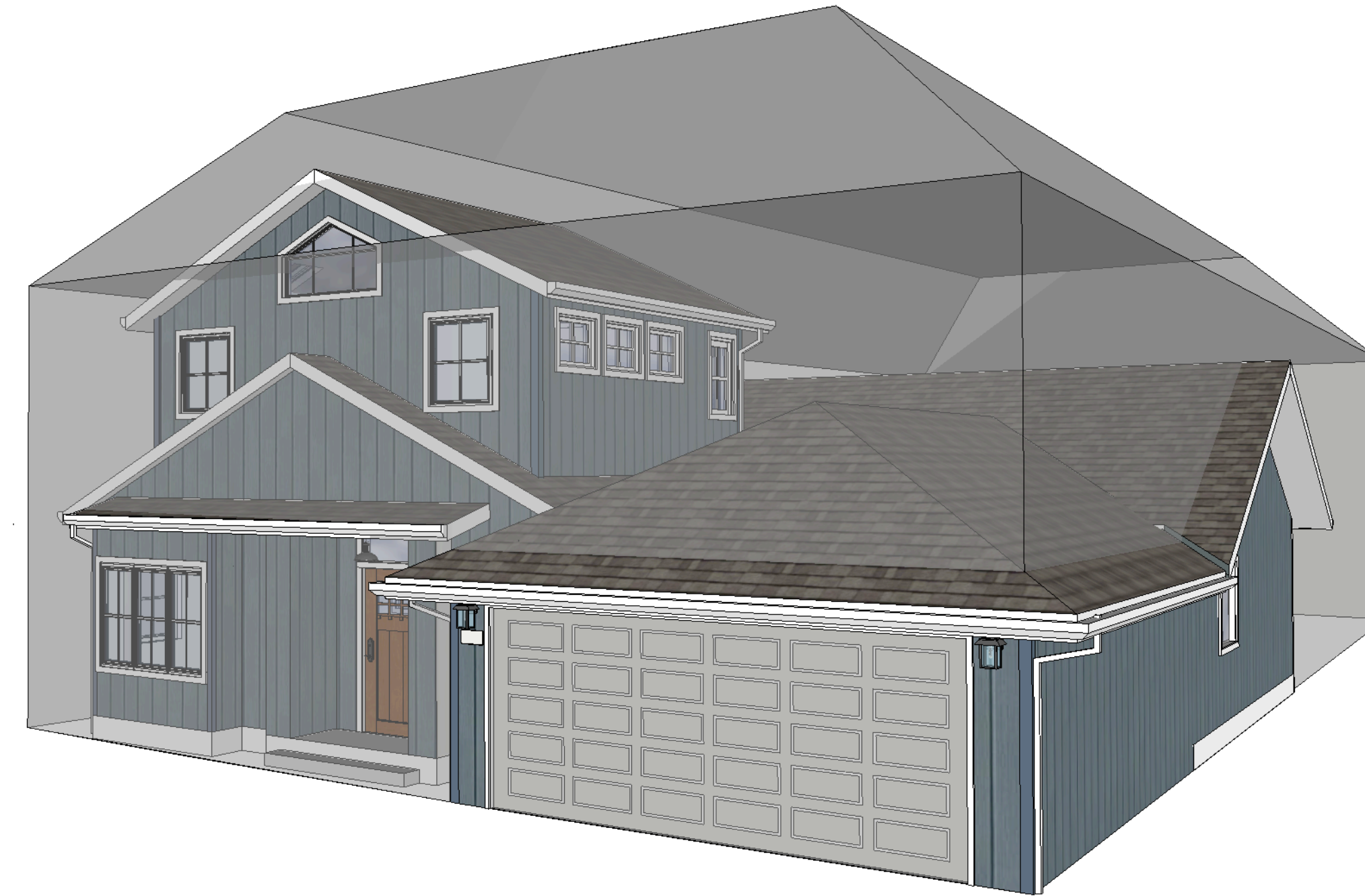
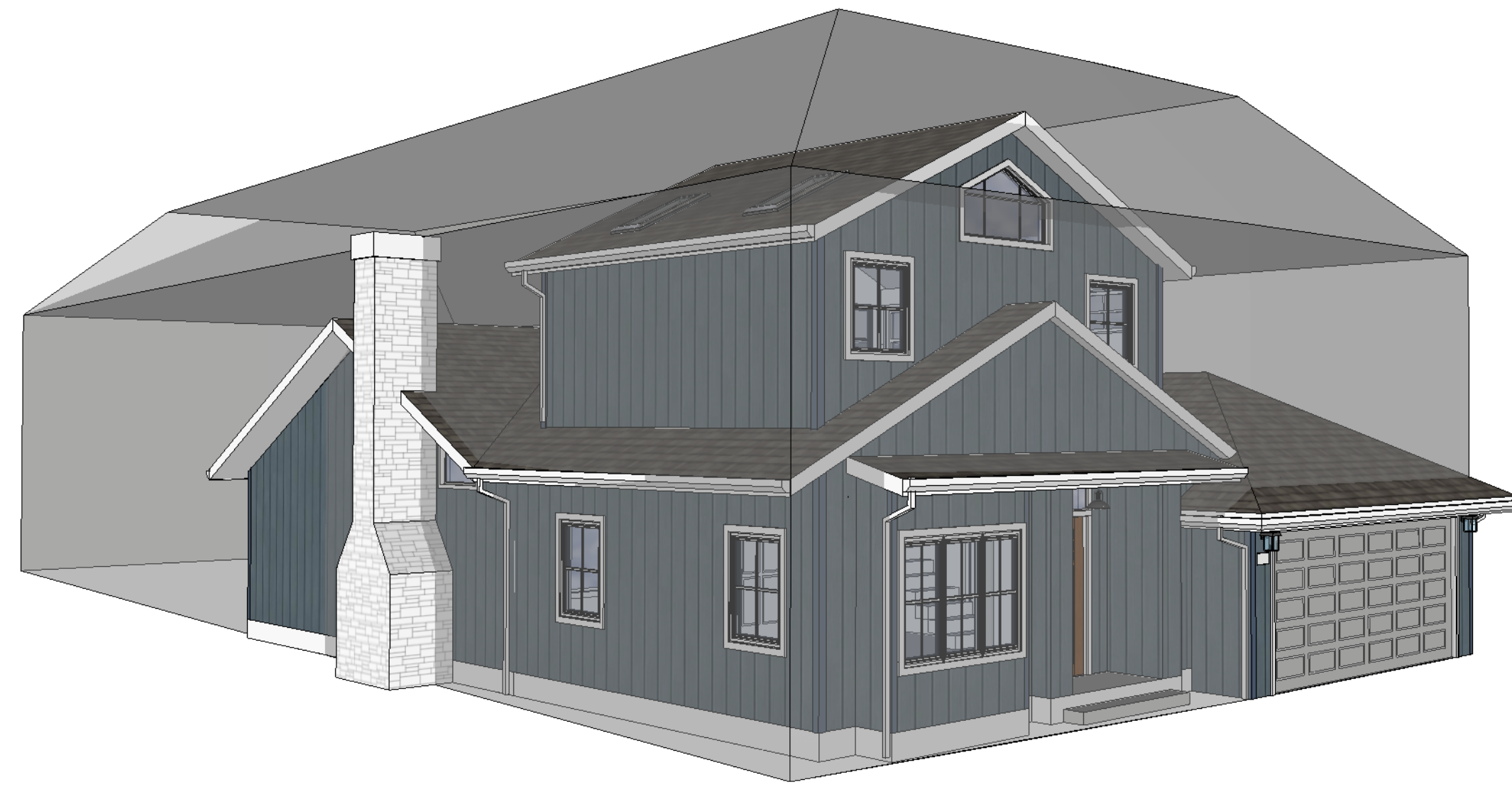
New Residential Addition  
APN 037-333-200  
130 Bridgeport Drive  
Half Moon Bay, CA 94019

How Project Conforms to Design Review Standards

This project consists of new two-story addition to existing single-story single-family home. Minimal to no grading will be needed as new addition is in a level area connecting to existing house. The new addition mass, shape and scale have been designed with offsets, indentations, and various roof lines to have a similar barn house look of neighborhood homes. Second story is to be indented from first story and is to tie into existing roof. Siding, windows, and facial trim of new addition is to match existing house. New addition and existing house are to be repainted using a light grey/blue color for the siding, all trim and fascia boards to be painted white and front door to be painted dark blue/gray. This color palette conforms well with the neighborhood and coastal community. Existing stamped concrete walkway is to remain and be patched into new addition front doorsteps. Roof asphalt shingles are to match existing house and are a light brown color. No additional fencing is to be installed in this addition and existing fences (on side and rear of property) is to be repaired or replaced as needed.

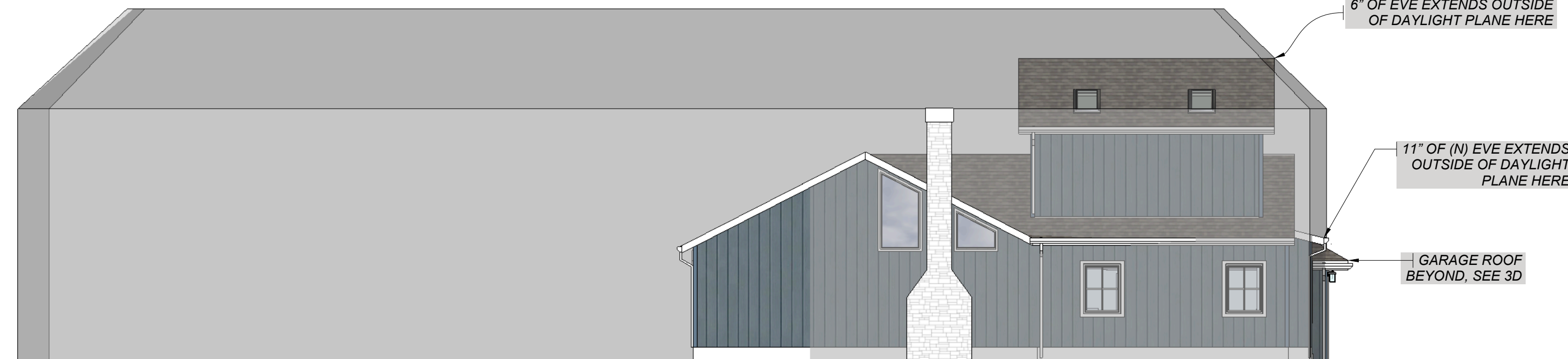
Existing landscape surrounding property is to remain and be protected during construction. Lawn in front is to be repaired as needed and new 3'-4" wide planters are to be installed adjacent front and side of new addition. All new and existing irrigation will have weather-based irrigation controller with pressure reducing valves and check valves on all sprinkler heads. All new landscape plants trees are to be drought tolerant and follow the MWEL requirements.

2 STATEMENT OF COMPLIANCE - DR STDS  
scale: n/a

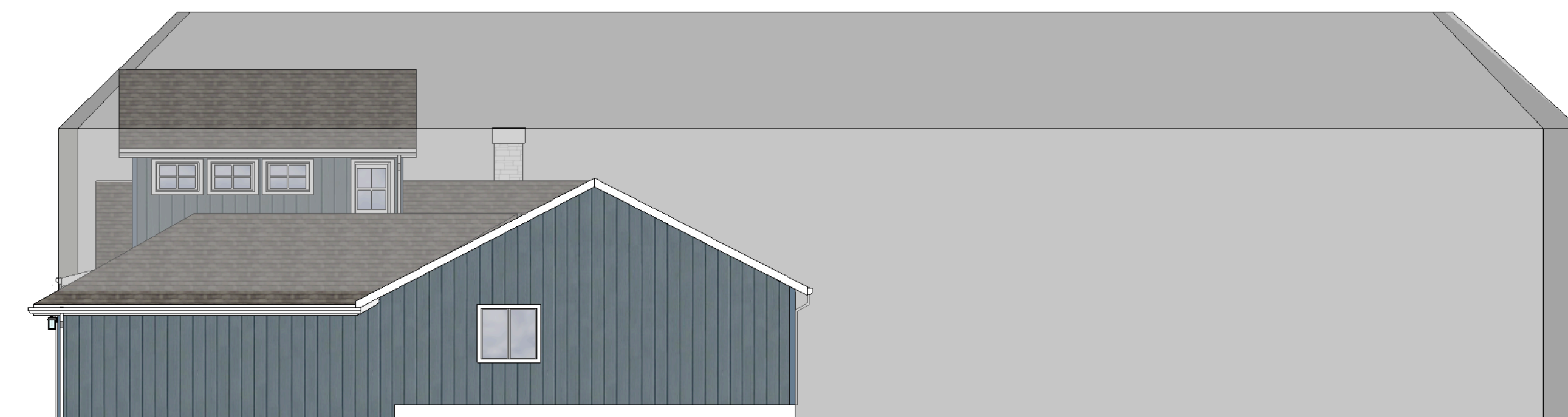


SOUTH ELEVATION

1 DAYLIGHT PLANE STUDY - ELVEVATIONS  
scale: 1/8"=1'-0"



WEST ELEVATION



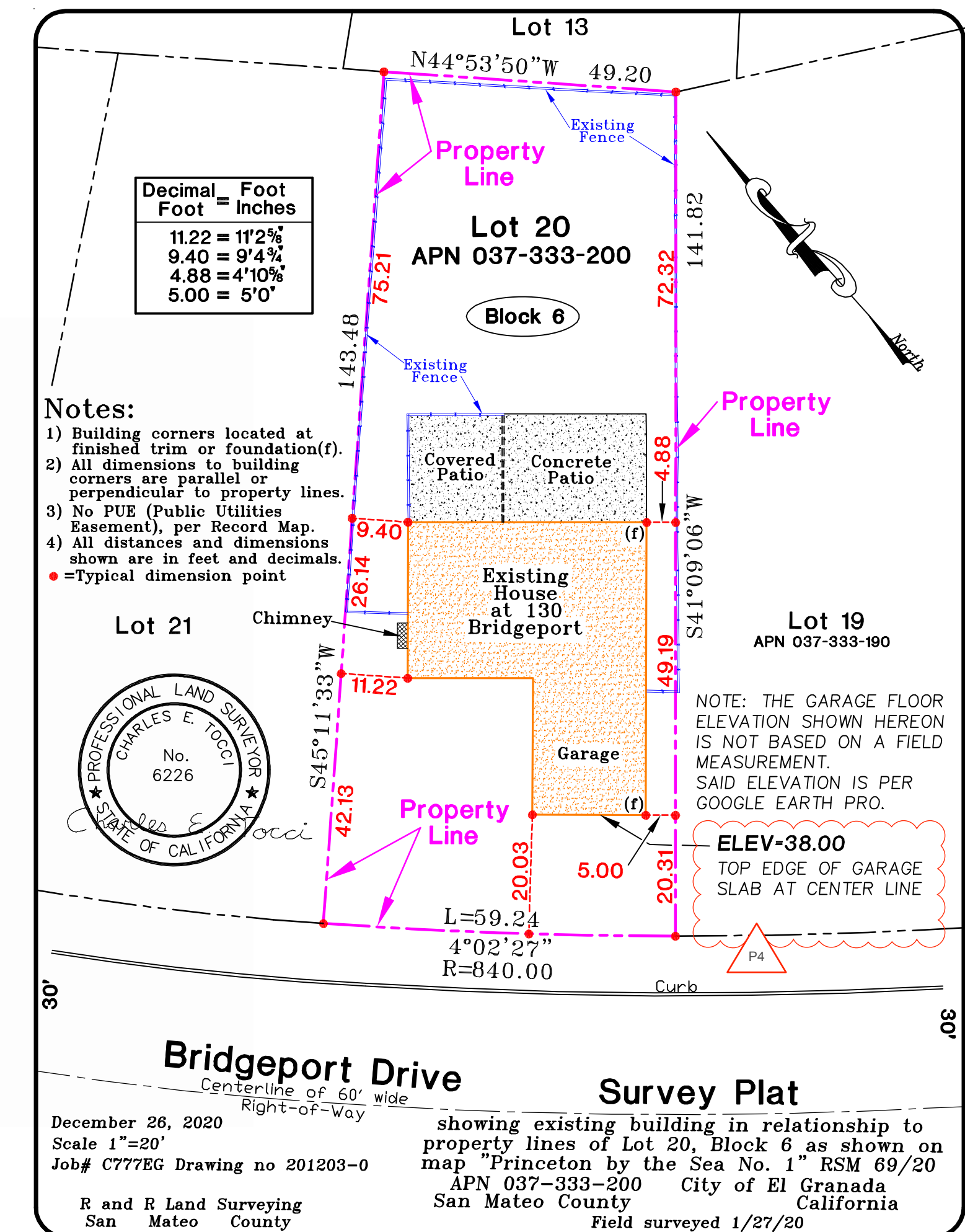
EAST ELEVATION

(N) ROOFING TO MATCH (E) ROOFING  
PHOTO OF (E) BELOW



Krosswood Door Color Knotty Alder Clear Stain Wood (medium tone wood)	SW 7006 Extra White Interior / Exterior Location Number: 257-C1
Newburyport Blue HC-155	SW 0055 Light French Gray Interior / Exterior

4 COLOR/ MATERIAL BOARD  
scale: n/a



3 PROFESSIONAL SURVEY  
scale: AS NOTED

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